

AGENDA
ENFIELD INLAND WETLANDS AND WATERCOURSES AGENCY
WEDNESDAY, August 5, 2020 – 7:00PM
SPECIAL MEETING

PLEASE JOIN THE MEETING VIRTUALLY WITH THE FOLLOWING LINK

LOGIN INFORMATION TO JOIN THE MEETING:

Join OfficeSuite Meeting:

<https://meeting.windstream.com/j/1125853511>

Meeting ID: 112 585 3511

One tap mobile

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Dial by your location

+1 646 741 5293 US (New York)

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+1 973 854 6173 US

Meeting ID: 112 585 3511

MEETING MAY ALSO BE SEEN VIA YOUTUBE AT:

<https://youtu.be/4rNeke5XQOQ>

APPLICATION MATERIALS MAY BE FOUND AT:

<http://www.enfield-ct.gov/650/Inland-Wetlands-Watercourses-Agency>

REGULAR MEETING

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Correspondence**
5. **Agents Correspondence** (Site Visit Updates – if any)
6. **Approval of Minutes: July 21, 2020**
7. **Old Business**
8. **New Business**

Wetlands Permit(s)

- a. **IW# 611** – 67 Middle Road – Application for a permit to construct a single family residence within the 100-foot Upland Review Area (URA) on the property known as 67 Middle Road; Raffia Farms, INC., Owner; Map 065/Lot 062; Zone R-44. (DoR 07/21/2020).
 - b. **IW# 612** – 19 Carmela Terrance – Application for a permit to construct a 14' x 24' shed within the escarpment and wetland soil areas as delineated by the Town of Enfield Official Wetlands Map on the property known as 19 Carmela Terrance; Jody Foisy, Owner; Map 063 / Lot 0176; Zone R-33. (DoR 07/21/2020).
9. **Enforcement Report(s)**

10. **Report of Development Services/Planning Staff**
11. **New Applications to be Received**
12. **Agent Approvals**
 - a. **IW # 613 – 50 Hazard Avenue (AKA 10 Hazard Avenue)** – Application for Agent Approval for a permit to construct a +/- 6,300 square foot renovation and expansion with associated improvements on the property known as 50 Hazard Avenue; Map 056/Lot 0022; BR Zone; Regency Centers c/o Michael Lai, Owner; Nate Krishner (Lagan), Applicant Representative. (DoR 07/21/2020). Approved on 07/22/2020.
13. **Adjournment**

Note: Next Regular Meeting will be virtually on **Tuesday, September 1, 2020** at 7:00 p.m. Instructions to join that meeting will be posted on the agenda and on the IWWA webpage at <http://www.enfield-ct.gov/650/Inland-Wetlands-Watercourses-Agency>.

By: Donna Corbin-Sobinski, Chairman - Files are available for review on the Town of Enfield Inland Wetlands and Watercourses Agency Website.

ENFIELD INLAND WETLANDS AND WATERCOURSES AGENCY
TUESDAY, JULY 21, 2020 – 7:00PM
REGULAR MEETING
DRAFT MINUTES FOR COMMISSION CONSIDERATION
Virtual Meeting

Call to Order

Chairman Donna Corbin-Sobinski called the meeting to order at 7:11 P.M.

Roll Call

Commissioner Zorda took the roll and present were Chairman Donna Corbin-Sobinski, Commissioners Kevin Zorda, Virginia Higley and Alternate Commissioner Robert Hendrickson. Absent were Commissioners Carrie Howe, Marie Pyznar, Marcy Taliceo and Robert Chagnon.

Chairman Corbin-Sobinski stated that Commissioner Jane Smith's term had expired and she is no longer part of the Commission.

Also present were Savannah-Nicole Villalba, Assistant Town Planner and Elizabeth Bouley, Recording Secretary.

Chairman Corbin-Sobinski seated Alternate Commissioner Hendrickson.

Approval of Minutes: July 7, 2020

Motion: Commissioner Zorda made a motion, seconded by Commissioner Hendrickson, to approve the minutes for the July 7, 2020 Regular Meeting.

The motion passed with a 4-0-0 roll call vote.

Votes: 4-0-0

New Business

Public Hearing(s)

- a. **IW# 610** – 188 Moody Road – Application for a map amendment to the Town of Enfield Official Wetlands Map for the property known as 188 Moody Drive, Enfield, CT 06082; Troiano Realty Corporation, Owner; Map 100/Lot 0012; Zone I-1. (DoR 07/21/2020).

Chairman Corbin-Sobinski read the legal notice and explained the rules for the Public Hearing.

David Ziaks of F.A. Hesketh & Associates, Inc. addressed the Commission along with Bob Russo of CLA Engineers, Inc.

Mr. Ziaks utilized an aerial photograph of the property to illustrate the various physical features of the site. He shared a colored rendering of the property survey and wetlands mapping that had been filed with the application. Mr. Ziaks pointed out the area that had been flagged for wetlands by Mr. Russo as well as the wetlands soils as depicted on the current town map. He stated that the wetland area shown on the town map does not actually exist and the correct mapping is shown on this rendering.

Mr. Russo provided the Commission with an explanation of the wetland delineation that he had performed. He stated that there is evidence that the previous wetlands mapped had been filled in and graded over, and that the current delineation is the most accurate representation of the wetlands onsite.

Commissioner Higley asked if the amended area will be shown on the map if it passes, to which Mr. Ziaks replied that the property owner intends to record an updated boundary map on the land records.

Chairman Corbin Sobinski asked about the oil spill referenced in the notes. Mr. Ziaks explained that over the winter someone entered the site illegally with a large truck and hit a canopy, which caused a spill. He stated that the spill had been cleaned up properly and the canopy and equipment are being upgraded and replaced. Mr. Ziaks stated that the spill was isolated near the canopy and had been cleaned up according to CT DEEP requirements and the local Health Department was involved.

Chairman Corbin-Sobinski asked three times if anyone in the public would like to speak in favor or against the application; no one came forward.

Motion: Commissioner Zorda made a motion, seconded by Commissioner Higley, to close the Public Hearing.

The motion passed with a 4-0-0 vote.

Votes: 4-0-0

Motion: Commissioner Zorda made a motion, seconded by Commissioner Higley, to approve the map amendments for IW# 610.

The motion passed with a 4-0-0 vote.

Prior to the Start of Construction:

1. Prior to the start of construction or, if applicable, the issuance of a building permit(s) the full-size plans as approved by the Agency (and the Planning and Zoning Commission) shall be submitted to the Inland Wetlands Agent;
2. The permittee/contractor shall schedule a pre-construction meeting (if required) with the Inland Wetlands Agent to be held no sooner than two (2) weeks before the regulated activities are to begin. The permittee shall, at that time, review with the Inland Wetlands Agent, the procedures to be taken to protect the regulated areas prior to and during construction;
3. The applicant must submit a Sediment & Erosion Control Bond in an amount to be determined by the Director of Planning and the Town Engineer. This bond can be returned to the applicant upon completion and inspection of all work to be done on the property;
4. The Inland Wetlands and Watercourses Agency or its designated Agent must be notified in writing within three (3) business days of the proposed commencement of permitted activities, and upon completion of said activities; a “business day” is a day when the Town Hall is open for business.

5. Prior to the start of construction, adequate erosion and sedimentation control measures shall be implemented, and shall be maintained throughout the entire construction phase and shall meet or exceed the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, as revised, until the site has become stabilized with permanent vegetative cover.
6. The Permittee shall submit a plan noting plant type and number of plants to be placed in affected area.
7. The Standard Town Notes must be added to the final plans submitted to the Planning Office.

General Conditions:

8. This approval shall be valid for five (5) years from the date of approval unless otherwise revoked or specifically extended;
9. All work and all regulated activities conducted pursuant to this permit shall be consistent with these terms and conditions hereof. Any structures, excavation, fill, obstruction, encroachments or regulated activities not specifically identified and authorized herein shall constitute a violation of this permit and may result in its modification, suspension, or revocation. Upon initiation of the activities authorized herein, the permittee thereby accepts and agrees to comply with the terms and conditions hereof;
10. This approval is not transferable without the written consent of the Enfield Inland Wetlands and Watercourses Agency or its designated Agent;
11. In issuing this approval, the Agency has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete and/or inaccurate this permit shall be modified, suspended or revoked;
12. This approval shall be made a part of all construction contracts and sub-contracts pertaining to the proposed regulated activities and shall supersede all other contract requirements;
13. The permittee shall permit the Agency, its authorized representative(s) or designee(s) to make periodic inspections at any time deemed necessary in order to assure that the activity being performed under authority of this permit is in accordance with the terms and conditions prescribed herein;
14. No equipment or material including without limitation, fill, construction materials, or debris, shall be deposited, placed, or stored in any wetland or watercourse on or off site unless specifically authorized by this permit;
15. This approval is subject to and does not derogate any present or future property rights or other rights or powers of the Town of Enfield, and conveys no property rights or in real estate of material nor any exclusive privileges, and is further subject to any and all public and private rights and to any activity affected hereby;
16. The construction site shall be left in a stable condition at the close of each day. An adequate stockpile of erosion control materials shall be on site at all times for emergency or routine replacement and shall include materials to repair silt fences, hay bales, mulch, stone-riprap filter dikes or any other devices planned for use during construction. Additional erosion/stormwater control measures are to be installed as directed by the Inland Wetland Agency, its authorized representative(s) or designee(s) if field conditions necessitate.
17. The permittee shall immediately inform the Planning Division of any problems involving wetlands or watercourses which have developed in the course of, or which are caused by, the authorized work;

18. All temporary barriers, including erosion and sedimentation controls are to be removed when the site is stabilized in suitable weather conditions. The site is considered stabilized when there is equal to or greater than 70% vegetative cover;
19. With the exception of the addition of the items stated in these conditions, this application is approved in accordance with the plans referenced above. Any changes that would potentially cause greater impact to wetlands or watercourses, such as enlargement of the area of disturbance or reorientation of building footprints, from the plans shall require the permittee to come before the Enfield Inland Wetlands and Watercourses Agency for a Determination of Permit Modification.
20. The Inland Wetlands and Watercourses Permit number shall be located on all future plans to any Town or State Agency.
21. The Wetland Permittee shall complete the permit prerequisites and file the permit on the Land Records within 365 days.

The Inland Wetlands and Watercourses permit, when issued, does not abrogate the applicant's responsibility to obtain permits that may be necessary from other agencies at the local, state or federal level prior to commencing the project.

REFERENCE PLANS

1/1 – "Property/Topographic Survey" prepared for Troiano Realty Corporation, Moody Road Enfield, Connecticut. Prepared by F.A Hesketh & Associates, INC., 6 Creamery Brook, East Granby, Ct 06026, 860-653-8000, dated 07-11-2011 and revised on 06-29-2020 to include Russo Wetlands Flags.

DATED this day 13th day of July 2020.

Votes: 4-0-0

Chairman Corbin-Sobinski stated that the Commission can discuss the Wetland Permit applications but cannot act upon them until a Special Meeting on August 5, 2020 as they had to meet the 14-day requirement.

Wetlands Permit(s)

- b. **IW# 611** – 67 Middle Road – Application for a permit to construct a single family residence within the 100-foot Upland Review Area (URA) on the property known as 67 Middle Road; Raffia Farms, INC., Owner; Map 065/Lot 062; Zone R-44. (DoR 07/21/2020).

Attorney Andrew Urbanowicz addressed the Commission as a representative for the applicant. Mr. Urbanowicz provided the Commission with an explanation of the application, stating that the property was purchased by his client and has been split into two separate lots. He stated that Parcel B will be set aside for agriculture and his client is working on donating the development rights to the Connecticut Farmland Trust. Mr. Urbanowicz stated that the proposal for Parcel A, known as 67 Middle Road, is to have a 2,000 SF residential house, although his client has not selected a plan and may end up selling. He stated that this new house will be a much smaller developed area on the site than what was previously there.

Mr. Urbanowicz stated that the tree area as depicted on the map submitted to the Commission is really more brush, with the exception of a few large trees which will be removed as they are not healthy.

Chairman Corbin-Sobinski asked if there will be accessways into Parcel B, to which Mr. Urbanowicz replied that there will be 60.36 feet of frontage that will remain, and it will have its own egress. He stated that there is an active farm field to the rear of this lot.

Commission Zorda asked if the farmland trust is a permanent thing, to which Mr. Urbanowicz replied that it is a conservation easement so his client will be donating the development rights but retaining the right to farm and utilize the property for agriculture.

The Commission discussed whether the applicant needs to be present at the next meeting, ultimately deciding that Mr. Urbanowicz's presence will be sufficient at the next meeting on August 5, 2020.

- c. **IW# 612** – 19 Carmela Terrace – Application for a permit to construct a 14' x 24' shed within the escarpment and wetland soil areas as delineated by the Town of Enfield Official Wetlands Map on the property known as 19 Carmela Terrace; Jody Foisy, Owner; Map 063 / Lot 0176; Zone R-33. (DoR 07/21/2020).

Jody Foisy, 19 Carmela Terrace, addressed the Commission with an explanation of the proposed shed. She stated that the shed will be placed on crushed gravel. Ms. Villalba stated that the elevation in the area of the proposed shed is a very gradual slope. She went on to state that according to the USDS soil survey, the soil is moderately to excessively well drained and the location of the proposed shed is moderately to excessively well drained.

Ms. Foisy stated that the ground is already level.

Commissioner Zorda asked if the proposed shed is about 50 feet from the stream, to which Mr. Foisy replied that she does not know the exact distance but it is quite far.

Commissioner Zorda asked if pool chemicals will be kept in shed, to which Ms. Foisy replied that they will not. Commissioner Zorda stated that his only concern is regarding any fuel or chemicals stored in there as it slopes down to the stream. Ms. Foisy stated that the lawnmower and other equipment are kept in the attached garage and this is more of a wood shop.

Enforcement Report(s)

Ms. Villalba stated that she had helped an applicant with the application for 230 North Maple, but the applicant has yet to submit it. She stated that Zoning Enforcement Officer Ricardo Rachele had visited the property to ensure that nothing has happened since then.

Report of Development Services/Planning Staff

Ms. Villalba stated that 50 Hazard Avenue, which is the Burlington store, had submitted their materials today. She stated that Staff will send out a notice of decision tomorrow, including the condition that they must wait 15 days prior to starting any work.

Adjournment

Motion: Commissioner Zorda made a motion, seconded by Commissioner Higley, to adjourn.

The motion passed with a 4-0-0 vote.

Votes: 4-0-0

Prepared by: Elizabeth Bouley, Recording Secretary

Respectfully Submitted,

Virginia Higley, Secretary



TOWN OF ENFIELD

ENFIELD INLAND WETLAND AND WATERCOURSES AGENCY

IW# 611 – 67 Middle Road, Enfield, CT 06082 – Map 065/Lot 0062 – Single Family Residence

STAFF REPORT

July 14, 2020

BACKGROUND

This is an application for a permit to construct a single-family residence within the 100-foot Upland Review Area (URA) on the property known as 67 Middle Road.

A lot split was approved by the Department of Planning and Zoning on 06/17/2020. The parcel for the proposed single-family residence meets the lot and area requirements as defined by Table 4.10 in the Zoning Regulations. The owner states that the land from the lot split (not the land included in this application) will become subject to a conservation easement with the Connecticut Farmland Trust.



***Please note that the above GIS image does not reflect the approved lot split.**

Per Section 2 - Definitions, all areas within 100-feet of the boundary of such wetlands or watercourses are a **regulated activity**.

Please refer to the site plan, the soil survey, and the CRCOG GIS imagery of the soil. In addition, the applicant has provided documentation of previous building structures that were located on the proposed parcel.

STAFF COMMENTS

- The soil classification on the location of the proposed house is Ninigret fine sandy loam, 0 to 3% slopes which is a moderately well drained soil type. The provided site plan shows that some of the treed area on the property will need to be cut to build the house.

Page 1 of 4



TOWN OF ENFIELD

However, the proposed conservation easement is a positive way to protect the wetlands located on the remainder of the lot split.

- Chief Jack Flanagan of the Fire Department did not have any issues or concerns with the proposed single-family dwelling.
- John Cabibbo, Assistant Town Engineer, did not have any engineering concerns with the proposed development. He did note that a more detailed plot plan will be required with the building permit application.

RESOLUTION

MOTION TO APPROVE THE WETLANDS PERMIT FOR IW# 611 – 67 Middle Road – Application for a permit to construct a single family residence within the 100-foot Upland Review Area (URA) on the property known as 67 Middle Road; Raffia Farms, INC., Owner; Map 065/Lot 0062; Zone R-44.

Prior to the Start of Construction:

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2. The permittee/contractor shall schedule a pre-construction meeting (if required) with the Inland Wetlands Agent to be held no sooner than two (2) weeks before the regulated activities are to begin. The permittee shall, at that time, review with the Inland Wetlands Agent, the procedures to be taken to protect the regulated areas prior to and during construction;
3. The applicant must submit a Sediment & Erosion Control Bond in an amount to be determined by the Director of Planning and the Town Engineer. This bond can be returned to the applicant upon completion and inspection of all work to be done on the property;
4. The Inland Wetlands and Watercourses Agency or its designated Agent must be notified in writing within three (3) business days of the proposed commencement of permitted activities, and upon completion of said activities; a “business day” is a day when the Town Hall is open for business.
5. Prior to the start of construction, adequate erosion and sedimentation control measures shall be implemented, and shall be maintained throughout the entire construction phase and shall meet or exceed the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, as revised, until the site has become stabilized with permanent vegetative cover.
6. The Permittee shall submit a plan noting plant type and number of plants to be placed in affected area.
7. The Standard Town Notes must be added to the final plans submitted to the Planning Office.

General Conditions:

Page 2 of 4



TOWN OF ENFIELD

8. This approval shall be valid for five (5) years from the date of approval unless otherwise revoked or specifically extended;
9. All work and all regulated activities conducted pursuant to this permit shall be consistent with these terms and conditions hereof. Any structures, excavation, fill, obstruction, encroachments or regulated activities not specifically identified and authorized herein shall constitute a violation of this permit and may result in its modification, suspension, or revocation. Upon initiation of the activities authorized herein, the permittee thereby accepts and agrees to comply with the terms and conditions hereof;
10. This approval is not transferable without the written consent of the Enfield Inland Wetlands and Watercourses Agency or its designated Agent;
11. In issuing this approval, the Agency has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete and/or inaccurate this permit shall be modified, suspended or revoked;
12. This approval shall be made a part of all construction contracts and sub-contracts pertaining to the proposed regulated activities and shall supersede all other contract requirements;
13. The permittee shall permit the Agency, its authorized representative(s) or designee(s) to make periodic inspections at any time deemed necessary in order to assure that the activity being performed under authority of this permit is in accordance with the terms and conditions prescribed herein;
14. No equipment or material including without limitation, fill, construction materials, or debris, shall be deposited, placed, or stored in any wetland or watercourse on or off site unless specifically authorized by this permit;
15. This approval is subject to and does not derogate any present or future property rights or other rights or powers of the Town of Enfield, and conveys no property rights or in real estate of material nor any exclusive privileges, and is further subject to any and all public and private rights and to any activity affected hereby;
16. The construction site shall be left in a stable condition at the close of each day. An adequate stockpile of erosion control materials shall be on site at all times for emergency or routine replacement and shall include materials to repair silt fences, hay bales, mulch, stone-riprap filter dikes or any other devices planned for use during construction. Additional erosion/stormwater control measures are to be installed as directed by the Inland Wetland Agency, its authorized representative(s) or designee(s) if field conditions necessitate.



TOWN OF ENFIELD

17. The permittee shall immediately inform the Planning Division of any problems involving wetlands or watercourses which have developed in the course of, or which are caused by, the authorized work;
18. All temporary barriers, including erosion and sedimentation controls are to be removed when the site is stabilized in suitable weather conditions. The site is considered stabilized when there is equal to or greater than 70% vegetative cover;
19. With the exception of the addition of the items stated in these conditions, this application is approved in accordance with the plans referenced above. Any changes that would potentially cause greater impact to wetlands or watercourses, such as enlargement of the area of disturbance or reorientation of building footprints, from the plans shall require the permittee to come before the Enfield Inland Wetlands and Watercourses Agency for a Determination of Permit Modification.
20. The Inland Wetlands and Watercourses Permit number shall be located on all future plans to any Town or State Agency.
21. The Wetland Permittee shall complete the permit prerequisites and file the permit on the Land Records within 365 days.

The Inland Wetlands and Watercourses permit, when issued, does not abrogate the applicant's responsibility to obtain permits that may be necessary from other agencies at the local, state or federal level prior to commencing the project.

REFERENCE PLANS

1/1 – “Proposed Single Family House” prepared for Raffia Farms, Inc., 67 Middle Road, Enfield, CT, Map 065/Lot 0062, Zone R-44. Prepared by Gary B. LeClair, LLC, 57 Acorn Drive, Windsor Locks, CT 06096, (860) 627-8200, n.d.

DATED this day 14th day of July 2020.



RECEIVED
ENFIELD PLANNING DEPT.

TOWN OF ENFIELD 2020 JUL 10 PM 3:53

Inland Wetlands & Watercourses Agency

Planning Division • 820 Enfield Street Enfield, CT 06082

Telephone: 860-253-6355 Website: www.enfield-ct.gov

Permit Application for Inland Wetlands & Watercourses Activity

Application For: Permit Extension Agent Approval Other _____
 Modification (Existing Permit/ Application #'s): _____

Staff Use Only

IW #:	611	View Permit #:	TPL-20-80
IWWA Regulation Section:			

PLEASE REVIEW LAND USE APPLICATION GUIDE FOR INSTRUCTIONS

Property Address: 67 Middle Road Map #: 65 Lot #: 62

Zone(s): BP and R44 Size of Parcel: 1.03 acres Account #: _____

Current Use: Former house site

Project Name: Proposed Single Family Residence

Summary Description: _____

See attached description

Applicant's Name: Raffia Farms Inc.

Applicant's Address: 113 Raffia Road Enfield CT 06082

Contact #: 860-749-9775 Email: raffiafarmsinc@gmail.com

Applicant's Representative: Andrew Urbanowicz, Esq.

Representative Address: P.O. Box 202 Somersville CT 06072

Contact #: 860-745-0351 Email: Andrew@avvlaw.com

Does Applicant own the Property? Yes (Attach Copy of DEED)
 No (Provide Information Below)



TOWN OF ENFIELD

Owner's Name: Raffia Farms, Inc.
Owner's Contact #: (860) 749-9775
Owner's Address: 113 Raffia Road, Enfield, CT 06082
Owner's Email: raffiafarmsinc@gmail.com

Project Information:

Septic: [] Yes [X] No
Public Sewer: [X] Yes [] No
Well Water: [] Yes [X] No
Public Water: [X] Yes [] No
Outdoor Storage: [] Yes [X] No
Design District: [] Yes [X] No

Do wetlands and watercourses affect this application? [X] Yes [] No
Is the property within a Level A or Level B Aquifer Protection Area? [X] Yes [] No
Does this application include any regulated activity in a floodplain [] Yes [X] No

(If yes, you will need to also submit a Flood Hazard Development Permit application to the Planning & Zoning Commission)

What is the total lot acreage? 1.03 acres

What is the length of the property frontage? (List by Street) 176.73 Feet Middle Rd.

Name the abutting street(s): Middle Road

What are the existing land uses and zoning districts for abutting properties or across the street(s)?

North Active Agriculture / BP zone
East Active Agriculture / R44 zone
South Active Agriculture / R44 zone / Residential
West R44 zone / Residential



TOWN OF ENFIELD

Environmental History:

Is any portion of the property located within 500 feet of an adjoining municipality? Yes No

Name Municipalities: _____

Area of wetlands located on the property: _____ Square Feet

Area of wetlands to be impacted: _____ Square Feet

Watercourses located on the property: Yes No

Name and type of watercourses: _____

Are proposed activities located within the 100-Year floodplain? Yes No

Are proposed activities located within a floodway? Yes No

Are there slopes with grades in excess of 15% located on the property? Yes No

Is any portion of the project located within a public water supply aquifer or watershed area?

Yes No

Phase I: Land Records reviewed for environmental hazards? Yes No

Phase II: Environmental Hazards Identified? Yes No

If yes, please list the environmental conditions found: _____



TOWN OF ENFIELD

Phase 3: Is there a remediation plan? Yes No

If yes, please describe the remediation plan: _____

Are there environmental restrictions on the property? Yes No

If yes, please list environmental restrictions: _____

COMPLETE & SUBMIT:

INLAND WETLANDS & WATERCOURSES APPLICATION CHECKLIST

COMPLETE & SUBMIT:

STATE OF CONNECTICUT INLAND & WETLANDS WATERCOURSE ACTIVITY
REPORTING FORM



TOWN OF ENFIELD

The applicant understands that this application is to be considered complete only when all information and documents required by the Agency have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Enfield, Inland Wetlands & Watercourses Agency, and its agent(s) to walk the land, at reasonable times, and perform those tests necessary to properly review the application, both before and after a final decision has been issued.

I have reviewed and acknowledge the Land Use Application Guide for further instructions on how to complete my application.

Applicant Signature: [Signature] Date: 7/10/2020

Owner

Print Name: Gary J. Raffia Secretary
Raffia Farms, Inc.

Owner's Signature: _____ Date: _____

Gary J. Raffia Secretary
Raffia Farms, Inc.

Print Name: _____

Subscribed and sworn to before me 10th day of July, 2020.

[Signature]
Commissioner of the Superior Court
Notary Public Andrew V. Urbanowicz
429528

~~My Commission Expires:~~ _____

For Office Use	
Application #: _____	Date Submitted: _____
DEP Form Submitted Date: _____	

The Law Office of Andrew V. Urbanowicz

95 Raffia Road, Suite 3, Enfield, CT 06082

U.S. Mail: P.O. Box 202, Somersville, CT 06072

(860) 745-0351

Admitted to Practice in CT, MA, VT, & DC

(860)838-4777 Fax

Serving Clients in Connecticut, Massachusetts, and Vermont

July 10, 2020

Inland Wetlands & Watercourses Agency
Town of Enfield
820 Enfield Street
Enfield, CT 06082

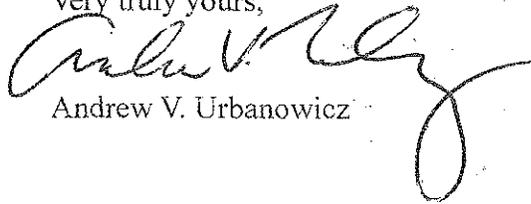
Dear Sir/Madam:

Submitted together with this cover letter, please file the following:

1. Letter granting authority from Applicant;
2. Completed Application;
3. A narrative describing the project;
4. A copy of the deed;
5. 2006 GIS Map of former structures;
6. 2009 GIS Map of former structures;
7. 2012 GIS Map of former structures;
8. USDA/NRCS web Soil Survey Report of Soil Classes;
9. 2001 Assessor's record card;
10. 2006 Assessor's record card;
11. Statewide Wetlands Reporting Form;
12. Connecticut Farmland Trust Mission Statement;
13. 14 sets of the site plan;
14. Payment of the filing fee.

If there is anything else you require, kindly let me know.

Very truly yours,



Andrew V. Urbanowicz

Enclosures

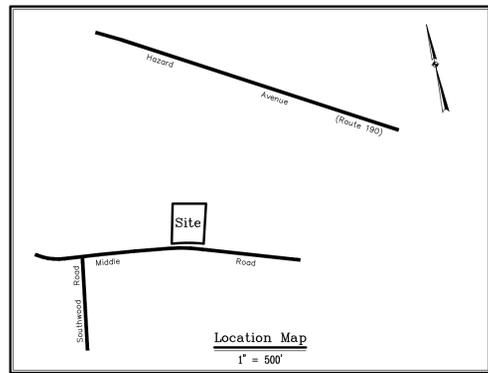
cc: Raffia Farms, Inc.

Schedule A

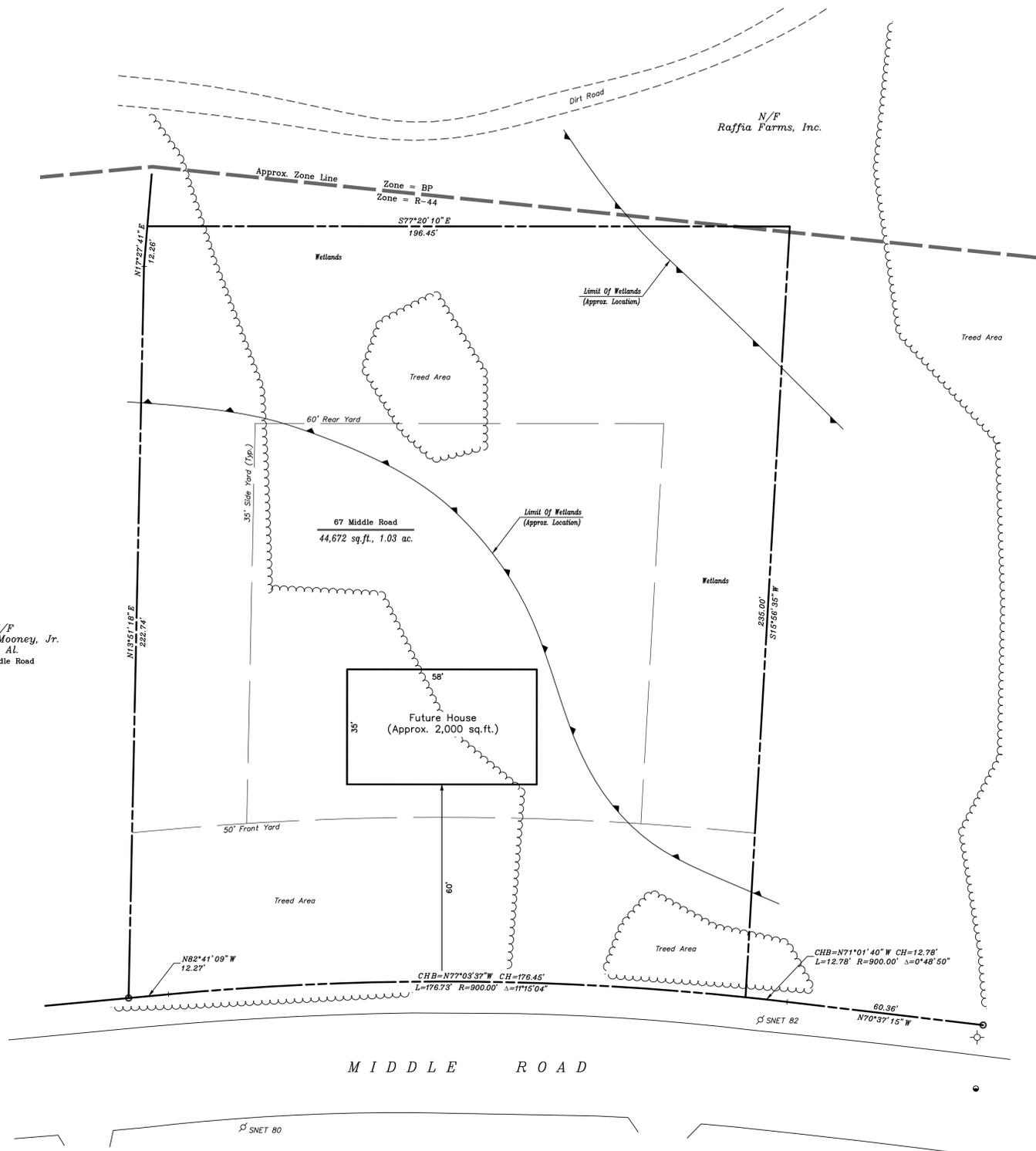
That certain piece or parcel of land known as 67 Middle Road and more particularly bounded and described as follows:

All that property shown as Area "A" on a map or plan entitled "Lot Split Prepared for Raffia Farms, Inc., 67 Middle Road, Enfield, Connecticut, Map 065 Lot 0062, Zone BP & R-44, Gary B. LeClair, LLC Licensed Land Surveyors 57 Acorn Drive, Windsor Locks, Connecticut 06096, Dated to 6-15-2020."

Said premises contain 1.03 acres.



N/F
John H. Mooney, Jr.
Et Al.
65 Middle Road



Legend:

- Existing IP
- IP (To Be Set)
- Existing Monument
- Monument (To Be Set)
- ⊙ Drill Hole
- ⊕ Utility Pole
- ⊗ Wire On Ground
- ⊖ Water Gate
- ⊘ Gas Gate
- ⊙ Signs
- ⊙ Wood Post
- ⊙ Hydrant
- ⊙ Light
- ⊙ Handhole
- ⊙ Mail Box
- ⊙ Monitor Well
- Existing Trees
- Stonewall
- Fence
- Guide Rail
- Tree Line
- Existing Contour Line
- Existing Spot Elevation

Map References:

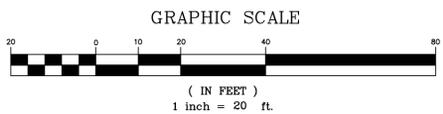
- "Lot Split Prepared For Raffia Farms, Inc. 67 Middle Road Enfield, Connecticut Map 065 Lot 0062 Zone R-44 Scale 1" = 40' Date 6-15-20 By Gary B. LeClair LLC, Windsor Locks, Connecticut".

General Notes:

- Bearings based on reference map #1.
- Wetland limits noted hereon are approximate and scaled from Town Of Enfield Inland Wetlands Map.
- Underground utility, structure and facility locations noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this surveyor. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Before You Dig (811).
- This survey and map has been prepared in accordance with Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Limited Property Survey based on a Dependent Resurvey conforming to Horizontal Accuracy Class A-2.

These drawings are the property of the Surveyor and have been prepared specifically for the owner of the Project at this site. They are not to be used for any other purpose, location, or person without the written consent of the Surveyor.

No declaration is expressed or implied unless these plans bear the live signature and embossed seal of the Surveyor whose name appears hereon.



ZONING INFORMATION BULK CHART:			
ZONE:	REQUIRED	EXISTING	PROPOSED
R-44			
MINIMUM LOT AREA	44,000 sq. ft.	44,672 sq. ft., 1.03 ac.	
MIN. LOT FRONTAGE	175'	189.00'	
MIN. FRONT YARD	50'		60'
MIN. SIDE YARD	35'		
MIN. REAR YARD	60'		

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

**Progress Print
(For Review & Comment Only)
7-08-20**

Gary B. LeClair, L.S. #70017

Proposed Single Family House

Prepared For
Raffia Farms, Inc.

67 Middle Road
Enfield, Connecticut

Map: 065 Lot: 0062 Zone: R-44

Gary B. LeClair, LLC
Licensed Land Surveyors

57 ACORN DRIVE
WINDSOR LOCKS, CONNECTICUT 06096
(860) 627-8200

BY A.B.L.	SCALE 1" = 20'	DATE 7-07-20	SHEET 1 OF 1	CHECKED G.B.L.	NO. 220007
--------------	-------------------	-----------------	-----------------	-------------------	---------------



STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Pursuant to section 22a-39(m) of the General Statutes of Connecticut and section 22a-39-14 of the Regulations of Connecticut State Agencies, inland wetlands agencies must complete the Statewide Inland Wetlands & Watercourses Activity Reporting Form for **each** action taken by such agency.

This form may be made part of a municipality's inland wetlands application package. If the municipality chooses to do this, it is recommended that a copy of the Town and Quadrangle Index of Connecticut and a copy of the municipality's subregional drainage basin map be included in the package.

Please remember, the inland wetlands agency is responsible for ensuring that the information provided is **accurate** and that it reflects the **final** action of the agency. Incomplete or incomprehensible forms will be mailed back to the agency. Instructions for completing the form are located on the following pages.

The inland wetlands agency shall mail completed forms for actions taken during a calendar month no later than the 15th day of the following month to the Department of Energy and Environmental Protection (DEEP). Do **not** mail this cover page or the instruction pages. Please mail **only** the **completed** reporting form to:

DEEP Land & Water Resources Division
Inland Wetlands Management Program
79 Elm Street, 3rd Floor
Hartford, CT 06106

Questions may be directed to the DEEP's Inland Wetlands Management Program at (860) 424-3019.

INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

*Use a separate form to report EACH action taken by the Agency. Complete the form as described below.
Do NOT submit a reporting form for withdrawn actions.*

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example: if an enforcement notice was given and subsequent permit issued - two forms for the two separate actions are to be completed).
 - A = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B = Any Permit Denied by the Inland Wetlands Agency
 - C = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F = A Jurisdictional Ruling by the Inland Wetlands Agency (i.e.: activities "permitted as of right" or activities considered non-regulated)
 - G = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.

Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the Connecticut Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. Click on the following website for USGS Quad Map information: http://ct.gov/deep/lib/deep/gis/resources/Index_NamedQuadTown.pdf

ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If the action/project/activity is located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn CLEAR's website: http://clear.uconn.edu/data/map_set/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (i.e., don't just state "forestry", provide details such as "20 acre forestry harvest, permit required for stream crossing".)

9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N".

- | | |
|---|--|
| A = Residential Improvement by Homeowner | I = Storm Water / Flood Control |
| B = New Residential Development for Single Family Units | J = Erosion / Sedimentation Control |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation |
| D = Commercial / Industrial Uses | L = Routine Maintenance |
| E = Municipal Project | M = Map Amendment |
| F = Utility Company Project | N = State Agency Project |
| G = Agriculture, Forestry or Conservation | P = Other (this code includes the approval of
concept plans with no-on-the-ground work) |
| H = Wetland Restoration, Enhancement, Creation | |

10. Enter between one and four code numbers to best characterize the project or activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- | | |
|---|---|
| 1 = Filling | 8 = Underground Utilities Only (no other activities) |
| 2 = Excavation | 9 = Roadway / Driveway Construction |
| 3 = Land Clearing / Grubbing (no other activity) | 10 = Drainage Improvements |
| 4 = Stream Channelization | 11 = Pond, Lake Dredging / Dam Construction |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review
Area |
| 6 = Stream Clearance (removal of debris only) | 14 = Activity in Upland |
| 7 = Culverting (not for roadways) | |

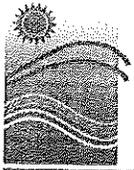
Examples: Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body". For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream". Remember that these figures represent only the acreage altered not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses (question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered). You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

PART III: To Be Completed By The DEEP - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions, only use one code): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (print name): Enfield
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the action is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: _____ or number: _____
subregional drainage basin number: _____
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Raffia Farms, Inc.
- NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): 67 Middle Road Enfield CT
briefly describe the action/project/activity (check and print information): temporary permanent description: Construction of single family residence.
- ACTIVITY PURPOSE CODE (see instructions, only use one code): B
- ACTIVITY TYPE CODE(S) (see instructions for codes): 12, 2, _____, _____
- WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):
wetlands: _____ acres open water body: _____ acres stream: _____ linear feet
- UPLAND AREA ALTERED (must provide acres): _____ acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

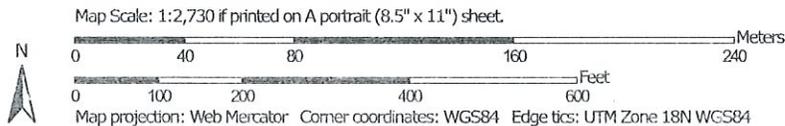
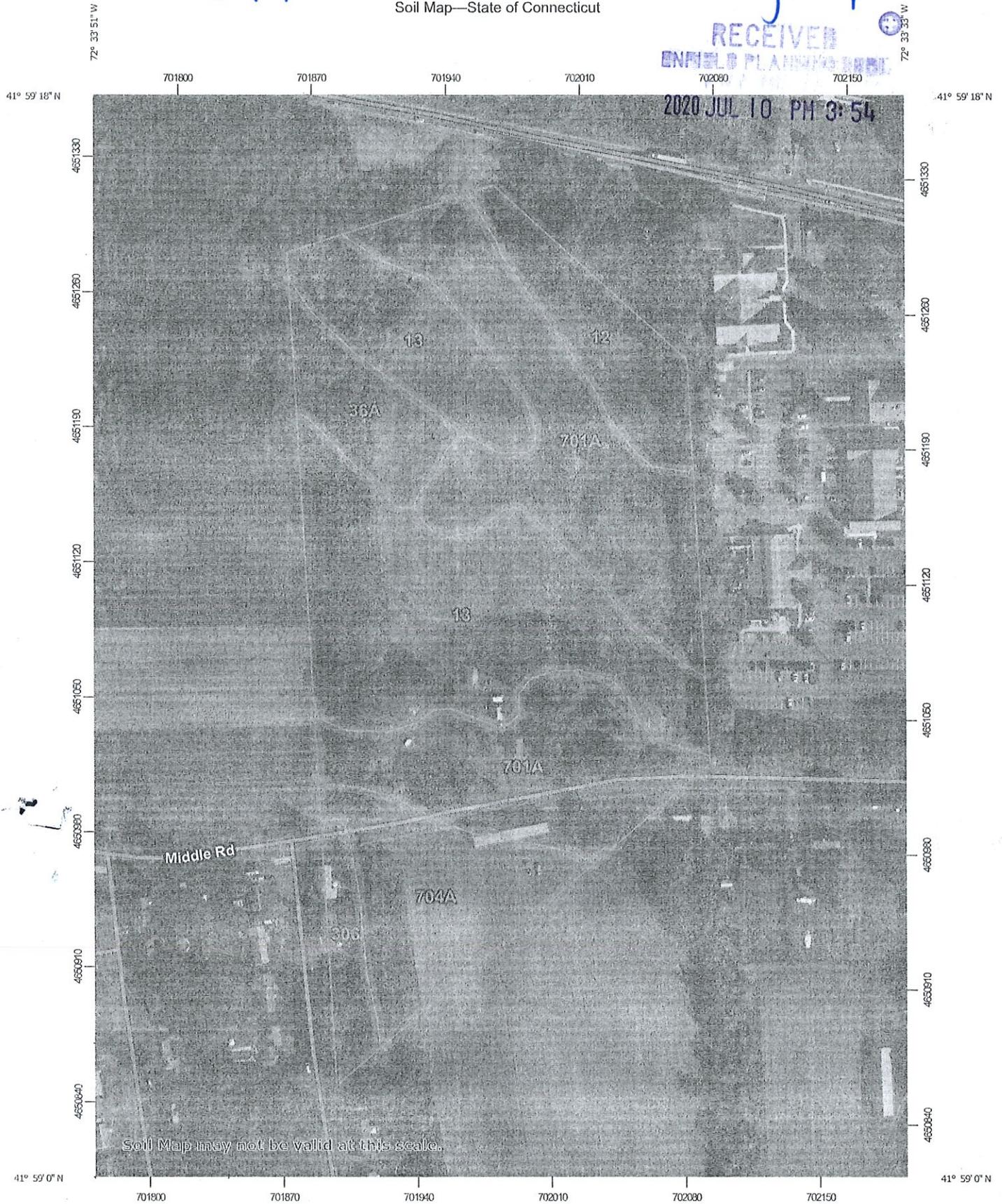
FORM CORRECTED / COMPLETED: YES NO

USDA NRCS Web Soil Survey Report

Soil Map—State of Connecticut

RECEIVED
ENFIELD PLANNING DEPT.

2020 JUL 10 PM 3:54



MAP LEGEND

- Area of Interest (AOI)
- Soils
- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points
- Special Point Features**
 - Blowout
 - Borrow Pit
 - Clay Spot
 - Closed Depression
 - Gravel Pit
 - Gravelly Spot
 - Landfill
 - Lava Flow
 - Marsh or swamp
 - Mine or Quarry
 - Miscellaneous Water
 - Perennial Water
 - Rock Outcrop
 - Saline Spot
 - Sandy Spot
 - Severely Eroded Spot
 - Sinkhole
 - Slide or Slip
 - Sodic Spot
- Water Features**
 - Streams and Canals
- Transportation**
 - Rails
 - Interstate Highways
 - US Routes
 - Major Roads
 - Local Roads
- Background**
 - Aerial Photography
- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut

Survey Area Data: Version 19, Sep 13, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

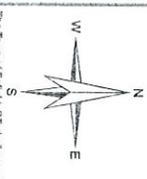
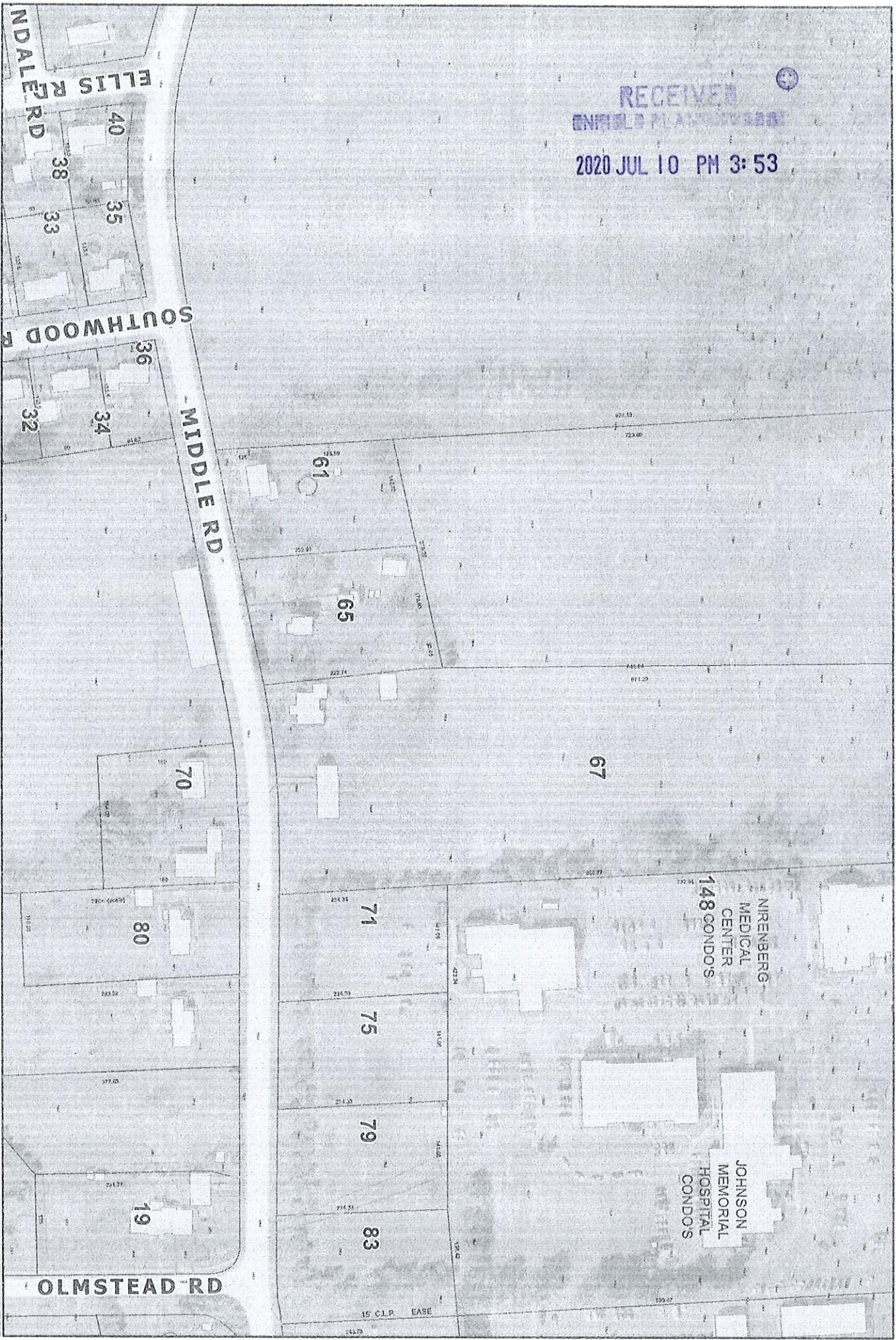
Date(s) aerial images were photographed: Aug 24, 2019—Oct 24, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
12	Raypol silt loam	1.4	8.0%
13	Walpole sandy loam, 0 to 3 percent slopes	6.2	34.5%
36A	Windsor loamy sand, 0 to 3 percent slopes	1.1	6.1%
306	Udorthents-Urban land complex	0.6	3.4%
701A	Ninigret fine sandy loam, 0 to 3 percent slopes	6.4	35.9%
704A	Enfield silt loam, 0 to 3 percent slopes	2.2	12.2%
Totals for Area of Interest		18.0	100.0%

RECEIVED
ENFIELD PLANNING DEPT
2020 JUL 10 PM 3:53



67 2006
View of
Former Structures
2006

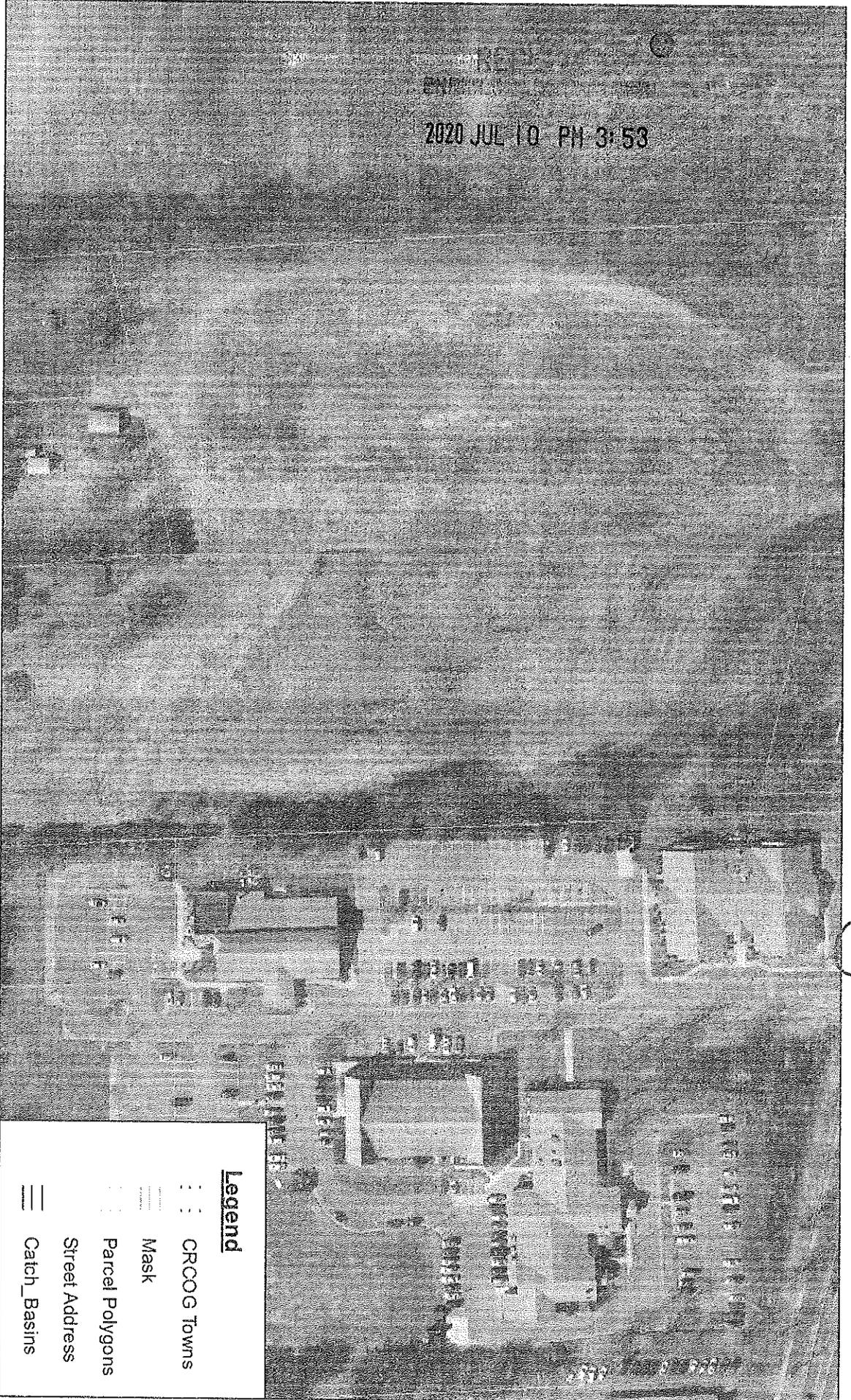
0 50 100 200 300 Feet
1 inch = 166 feet



The Town of Enfield, CT shall assume no liability for any errors, omissions, or inaccuracies in the information provided regardless of how caused or any decision made or action taken or not taken by users in reliance upon any information or data furnished hereunder.

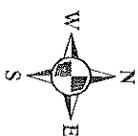
*View of Former Structures
ArcGIS Web Map*

009



Legend

-  CRCOG Towns
-  Mask
-  Parcel Polygons
-  Street Address
-  Catch_Basins



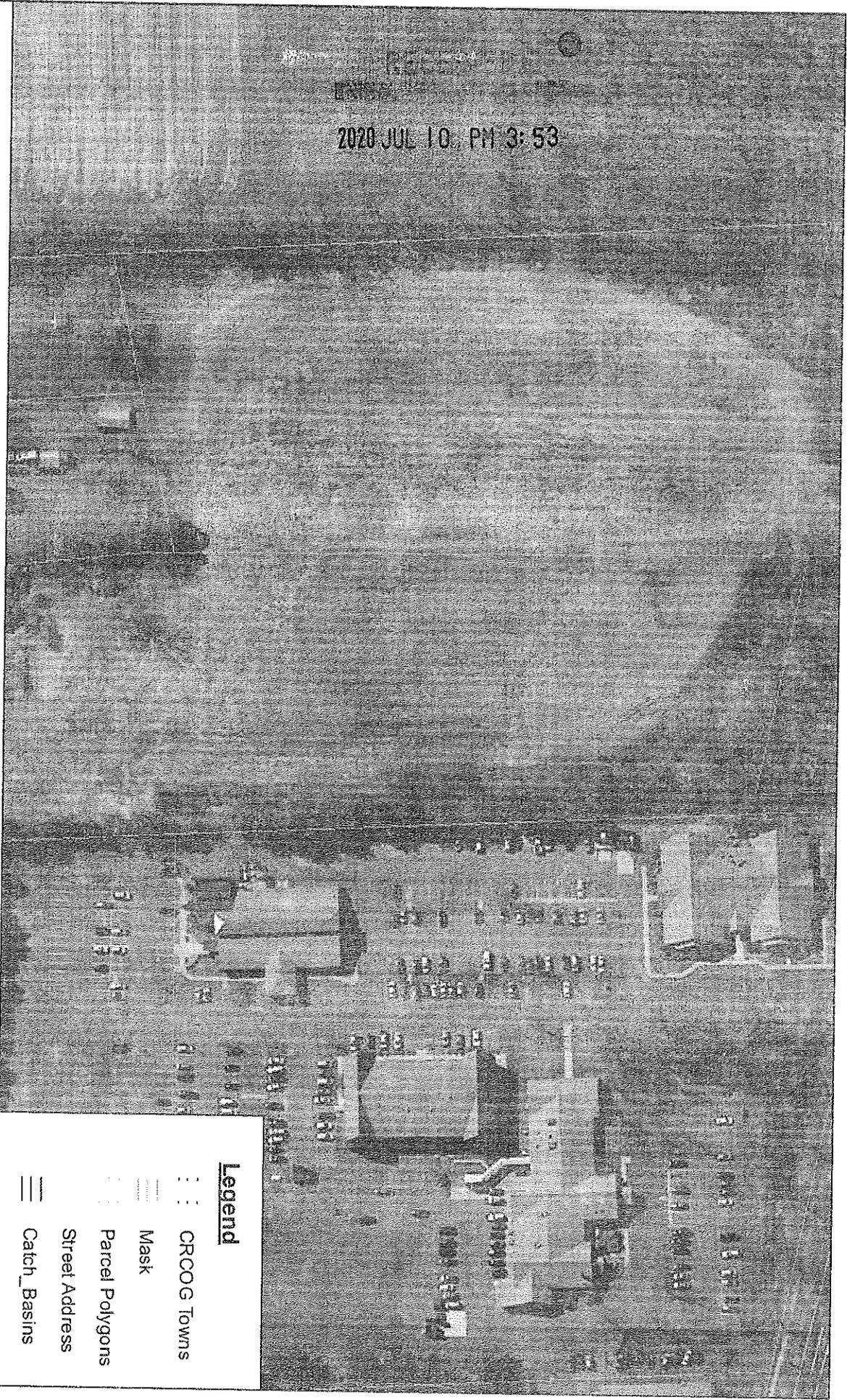
CRCOG
CAPITOL REGION
COUNCIL OF GOVERNMENTS
Working together for a better region.

CRCOG makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Scale
1:2,257

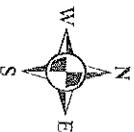
Created: 6/19/2020

*View of Former Structures
ArcGIS Web Map
2/1/20*



Legend

-  CRCOG Towns
-  Mask
-  Parcel Polygons
-  Street Address
-  Catch_Basins



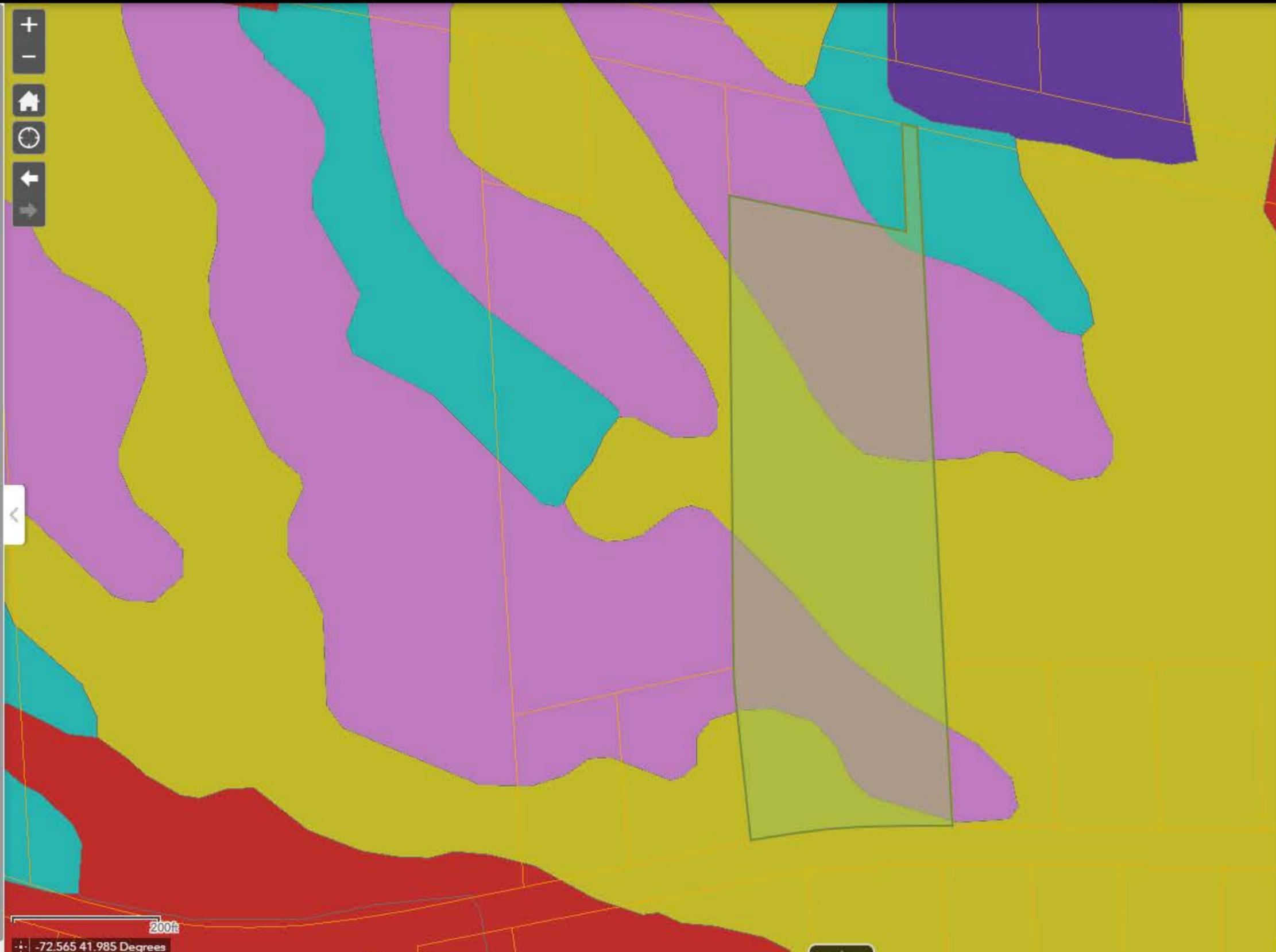
CRCOG

**CAPITOL REGION
COUNCIL OF GOVERNMENTS**
Working together for a better region.

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Scale
1:2,257
Created: 6/19/2020

- Result_Query result
- Tax Parcels
- Quick Maps
- Municipal Data
- Regional Bike Trails
- Regional Land Use
- Census
- Farmland Soils
- Inland Wetland Soils
- Regional Zoning
- Detailed Soils
 - Excessively drained
 - Somewhat excessively drained
 - Well drained
 - Moderately well drained
 - Somewhat poorly drained
 - Poorly drained
 - Very poorly drained
 - Water
 - Not rated
- Protected Open Space
- CT ECO Critical Habitat
- Aquifer Protection Area
- Watersheds
- Flood Hazard Map



Query ⌵ ✕

Search	Results
Result_Query result	...
Displayed features: 4/4 ⌵	
Search Result: East Windsor ⌵	
Property Address	67 MIDDLE RD
Owner Name	HAMLET HOMES LLC
Property Record Card	More info
Search Result: Enfield ⌵	
Property Address	67 MIDDLE RD
Owner Name	HARRIS CLEMENTINE + MOBLEY
Property Record Card	More info
Search Result: Manchester ⌵	
Property Address	67 MIDDLE TURNPIKE EAST
Owner Name	MCINTIRE MICHAEL E
Property Record Card	More info
Search Result: Wethersfield ⌵	
Property Address	267 MIDDLETOWN AVE
Owner Name	ALIHODZIC SEDIN + AZRA
Property Record Card	More info

MACIOLEK PETER&HARRIS CLEMENT
 2427 AMBLER AVE
 NORFOLK VA 23513
 0067 MIDDLE RD
 00151035
 VOL-PG
 2184-228

Fire District 3
 Map / Lot 065 0062
 Zoning R44
 Census 4808

LAND DATA AND COMPUTATIONS

Land Type	Frontage	Depth	Base Rate	Rate Per 100	Rate Per 200	Adjusted Rate	Base Value	Other Code	Adjust Factor	Value
Z1	1,000 AC		32000.00	1.00		32000.00	32000			32000
G1	4,200 AC									4200
Total Land Value 36200										

LAND TYPE

01 TOPOGRAPHY	06 LOCATION	07 TRAFFIC	08 SHAPE & SIZE	09 RESTRICTIONS	10 NON-CONFORM
Steep	Corner Lot	Heavy	Irregular	Surplus	None
Rolling	Land Locked	Mod Heavy	Excess Frontage	None	None
Flat	Rear with Access	Nominal	None	None	None
Low & Swampy	Water Front	View	None	None	None
02 STREET OR ROAD	None	Proposed	None	None	None
None	None	Paved	None	None	None
None	None	03 COMMON DRIVE	Yes	No	None
None	None	None	Yes	No	None

MEMORANDUM

01 TOPOGRAPHY	06 LOCATION	07 TRAFFIC	08 SHAPE & SIZE	09 RESTRICTIONS	10 NON-CONFORM
Steep	Corner Lot	Heavy	Irregular	Surplus	None
Rolling	Land Locked	Mod Heavy	Excess Frontage	None	None
Flat	Rear with Access	Nominal	None	None	None
Low & Swampy	Water Front	View	None	None	None
02 STREET OR ROAD	None	Proposed	None	None	None
None	None	Paved	None	None	None
None	None	03 COMMON DRIVE	Yes	No	None
None	None	None	Yes	No	None

BUILDING PERMITS

DATE	NUMBER	AMOUNT	PURPOSE

Card 1 of 1
 Work Year: 2001
 Prop Type 2 DWELLING
 Neighborhood 01202 Desirability AVERAGE

OWNER HISTORY
 MACIOLEK ELIZABETH EST OF &
 MACIOLEK FRANCIS & PETER
 MACIOLEK FRANCIS EST & PETER
 648 191
 2052 1 ADD
 8/19/05
 6/24/06

SALES HISTORY

Date	Price	Book	Page	Qual	Lot	Onl
07/08/1991	648	191				
10/28/1987	2052	1				
8/19/05	648	191				
6/24/06	2052	1				

COMPARABLE SALES

Parcel	Date	Adjusted Price	Points

2001 RETAIL VALUE HISTORY

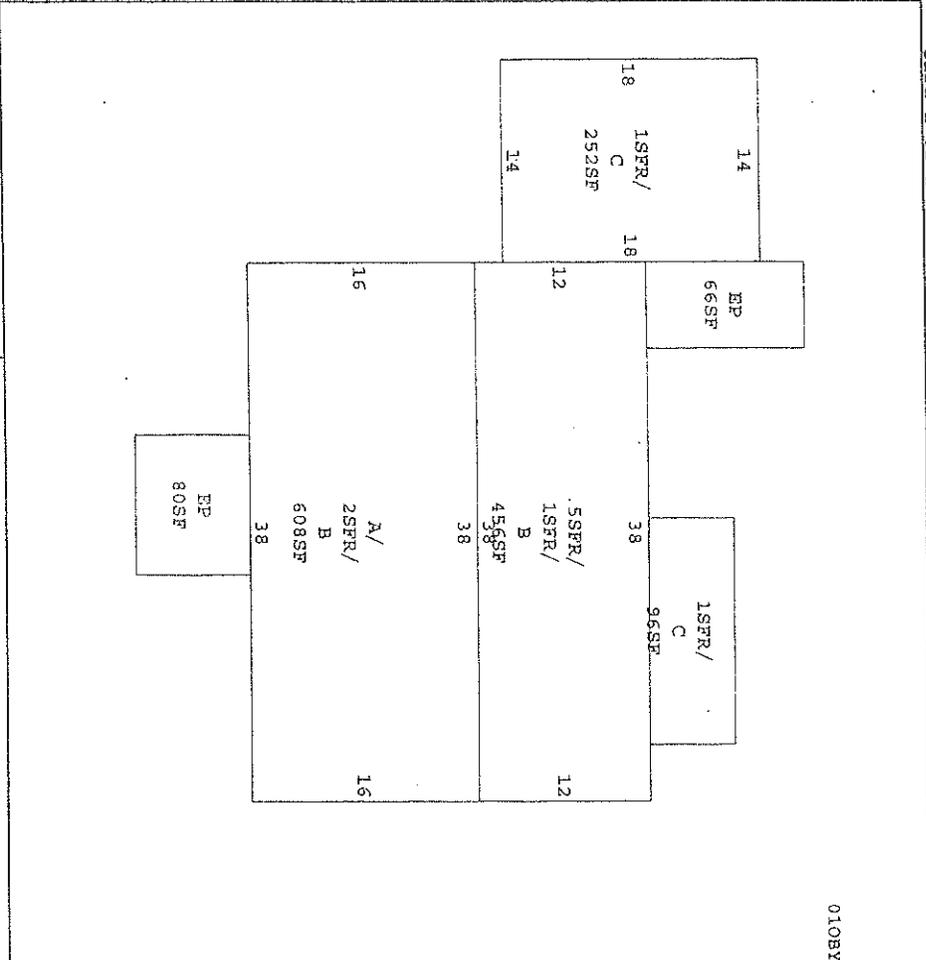
Use	Quantity	Appraised Value	Assessed Value
R LOT	1.000	32000	22400
R DWEL	1.00	76400	53480
R OUT	3.00	24600	17220
FARM	4.200	4200	2940
Total		137200	96040

2000 VALUE SUMMARY

Land	Improvement	Total
2000	129740	90820
Cost	36200	101000
Market		137200
Predicted		
FVC	36200	101000
		137200

IMPROVEMENT DATA AND COMPUTATIONS

LAND USE	R
STATE USE	13
ENTRY	OWNER
DESIRABILITY	AVERAGE
ACCOMMODATIONS	
TOTAL ROOMS	7
BEDROOMS	3
BATHS Full	1
Half	
4 Fix	
Other	
ADDITIONAL FIXTURES	
DWELLING CHARACTERISTICS	
DWELLING	18
Detach	<input checked="" type="checkbox"/>
Row Type	<input type="checkbox"/>
Dwelling Condo	<input type="checkbox"/>
# LIVING UNITS	1
Designed	
Conversion	
STYLE	SALT BOX
ROW FCT LIV UNITS	
INT UNFINISH Level	
HEAT	HOT WATER / OI
AIR	NONE
PLUMBING Type	BASE
Dev	
FIREPLACE Type	
Stk	
Opn	
Smt Rec Rm	NONE
Area	
Walkout	NO
ROOF TYP	GABLE
ROOF MAT	ASPHALT



Level	Base Area	Stry Ht	Ht Adj	Exterior Wall / Attic	Bsmt Types	Ad Area	RCN	
1	1412	1.00	1.00	WOOD		1412	123500	
2	456	.50	.50	WOOD		228	21100	
3	608	1.00	1.00	WOOD		608	44100	
4				UNFINISHED			3400	
Attic	380			THREE QUARTER BASEMENT			26000	
Bsmt	1412			QUARTER CRAWL			3900	
Total	2476	2.50		WOOD		2248	222000	
SUB-TOTAL							222000	
Flr Typ Lvl 1	SUB & JOISTS			ROW FACTOR		(+)		
Flr Fin	HWOOD, CARPET			EXTRA LIVING UNITS		(-)		
Flr Typ Lvl 2	SUB & JOISTS			UNFINISH INTERIOR		(+)		
Flr Fin	HWOOD, CARPET			NO HEATING		(+)		
Flr Typ Lvl 3	SUB & JOISTS			AIR CONDITIONING		(+)		
Flr Fin	HWOOD, CARPET			PLUMBING		(+)		
Flr Typ Lvl 4				FIREPLACES		(+)		
Flr Fin				BSMT REC ROOM		(+)		
Int Fin Lvl 1	PLASTER OR DRY WALL							
Int Fin Lvl 2	PLASTER OR DRY WALL							
Int Fin Lvl 3	PLASTER OR DRY WALL							
Int Fin Lvl 4								
SUB-TOTAL ONE UNIT							222000	
SUB-TOTAL 1 UNITS							222000	
GARAGE Type NO ATTACHED								
Capacity Area								
HOUSE ENTRY NO								
COND INT/EXT SAME								
EXTERIOR FEATURES							13800	
SUB-TOTAL							235800	
GRADE							1.00	
YEAR BUILT							1742	
YEAR REMODELED								
EFFECTIVE YEAR BUILT							1920	
CONDITION							AVERAGE	
DEPRECIATION							Econ	
Normal 34 Func								
TOTAL RCN							235800	

IMPROVEMENT FEATURES

SUMMARY OF IMPROVEMENTS

Sket ID	Use	Story Height	Const. Type	Size of Area	No. Un.	Base Rate	Feat. Adj.	Grade	Year Built	Year Rmld	Eff. Year	Con	RCN	Depreciation NO/FUNC	Value
	Dwelling	2.50													
1	UTIL SHED			20x33		12.25			1742		1920	AV	235800.34	/	155600
2	PLAT BARN	16		27x68		29.40			1800		1800	AV	8100.52	/	3900
3	GARAGE DE		PRAM	22x20		32.85			1800		1800	PR	54000	/	3800
						32.85			1996		1996	AV	14500	6/	13600
SPECIAL FEATURES															
Value by Card Detach Total															21300
Value by Card Total															176900

A HARRIS CLEMENTINE & MOBLEY EL J
 170 NORTH LAKE DR
 TUPelo MS 38801
 0067 MIDDLE RD
 00151035
 VOL-PG
 2184-228

FIRE DISTRICT 3
Map / Lot 065 0062
Zoning R44
Census 4808

LAND DATA AND COMPUTATIONS

Land Type	Frontage	Depth	Base Rate	Rate Fct 1	Rate Fct 2	Adjusted Rate	Base Value	Other Code	Adjust Factor	Value
A1	1,000	AC	63400.00	1.00		63400.00	63400			63400
FTB	4,200	AC	1110.00			1110.00	4660			4700
5.200 Acres										
Total Acreage 5.200										
Total Land Value 68100										

SITE CHARACTERISTICS

LAND TYPE

01 TOPOGRAPHY	06 LOCATION	A RESIDENTIAL LOT	S COM. SQ FT	G GROSS	LAND ADJUSTMENTS
Steep	1 Corner Lot	1 Primary Site	1 Primary Site	1 Site Value	1 Topography
Rolling	2 Land Locked	2 Primary Residual	2 Type 1 Exp		2 Street/Road
Flat	3X Rear with Access	3 Second Residual	3 Type 2 Exp		3 Location
Low & Swampy	4 Water Front	4 Third Residual	4 Type 3 & 4 Aux		4 Shape & Design
			1 IND ACRES		5 Unimproved
			2 Secondary		6 Restrictions
			3 Residual 1		7 Improvements
			4 Residual 2		8 Miscellaneous
					9

MEMORANDUM

02 STREET OR ROAD	07 TRAFFIC	08 SHAPE & SIZE	09 RESTRICTIONS	10 NON-COMFORM	05 PRIVATE UTIL
None	1 Heavy	Irregular	1	10 Non-conforming	1
Proposed	2 Mild Heavy	Excess Frontage	2	Essential/public	2
Paved	3 Nominal	Surplus	3	Non-conforming	3
				In Wetland	4
				Obstructions	5
				Mult-zone	6
				Non-buildable	

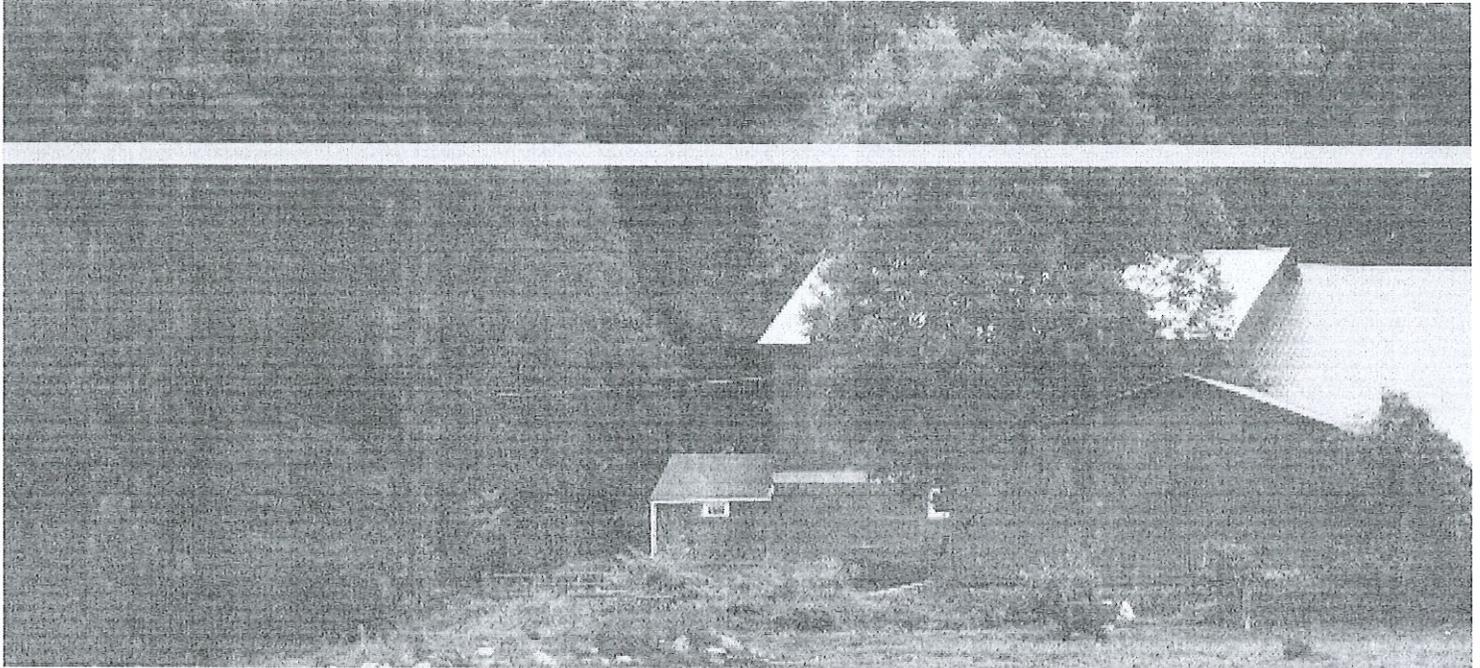
Parcel	Use	Quantity	Appraised Value	Assessed Value	Points
2006	REVAL				
R LOT		1.000	77800	54460	
R DWEL		1.00	156000	109200	
R OUT		3.00	3900	2730	
FARM		4.200	5800	4060	
Total			243500	170450	
2005					
R LOT		1.000	32000	22400	
R DWEL		1.00	76400	53480	
R OUT		3.00	24600	17220	
FARM		4.200	4200	2940	
Total			137200	96040	
VALUE SUMMARY					
Land					
Improvement					
Total					
Cost		68100	176900	245000	
Market		83600	159900	243500	
Predicted		83600	159900	243500	
PVC		83600	159900	243500	



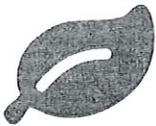
CONNECTICUT
FARMLAND
T R U

RECEIVED
ENVIRONMENTAL PLANNING DEPT
2020 JUL 10 PM 3:56

PRESERVING WORKING LANDS FOR FUTURE GENERATIONS



Our Mission



MISSION

Connecticut Farmland Trust is a statewide nonprofit organization working to protect farmland from the constant threat of development. Keeping land in farms helps to establish a local, sustainable food system, supports our economy, and contributes to improving the quality of land, air and water. Our goal is to make working lands available to Connecticut farmers for the indefinite future.



HISTORY

Since 2002, Connecticut Farmland Trust has partnered with organizations throughout the state to procure agricultural easements on over 50 farms. So far, we've ensured that over 3,700 acres

of farmland will remain farmland forever, and we're constantly working to save more. [Click here to see a list of the farms we've helped conserve.](#)



ACCREDITATION

CONNECTICUT
FARMLAND

Connecticut Farmland Trust strives for the highest standards in land conservation

RESERVING WORKING LANDS FOR FUTURE GENERATIONS



In 2012 we were awarded accreditation by the Land Trust Accreditation Commission, a national program led by the Land Trust Alliance. Accredited land trusts have demonstrated their commitment to national quality standards for nonprofit management and land conservation. The rigorous accreditation program verifies that the land trust has systems in place to ensure the promise of land protection is a permanent one.



· © 2017 Connecticut Farmland Trust ·



TOWN OF ENFIELD

ENFIELD INLAND WETLAND AND WATERCOURSES AGENCY

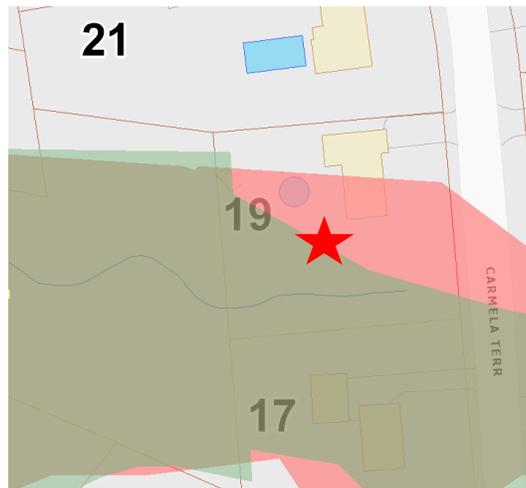
IW# 612 – 19 Carmela Terrace, Enfield CT 06082; Map 063 / Lot 0176 – 14' x 24' Shed

STAFF REPORT

July 15, 2020

BACKGROUND

This is an application for a permit to construct a 14' x 24' shed within the escarpment and wetland soil areas as delineated by the Town of Enfield's Official Wetlands Map on the property known as 19 Carmela Terrace. There is an unnamed tributary stream on the property that feeds into Grape Brook.



Per Section 2 - Definitions, all operations within or use of a wetland or an escarpment area are a regulated activity.

Please refer to the site plan, photos provided by the applicant, the soil survey measurements, and the topography of proposed shed area documents.

STAFF COMMENTS

- After referencing the site plan provided by the applicant, the elevation in the area of the proposed shed is a gradual slope with a 2' elevation drop.

Using the USDA Soil Survey, the soil composition in the area of the proposed shed is Udorthents-Urban Land Complex which is a moderately well drained to excessively well drained soil.

Page 1 of 4



TOWN OF ENFIELD

If desired, a prudent and feasible alternative location could be the area of the parcel not within the escarpment or wetland area.

- Michael Caronna of the Health Department, Sgt. Matthew Meier of the Police Department, and Captain Scott Ellis of the Fire Department did not have any concerns related to this application.

RESOLUTION

MOTION TO APPROVE THE WETLANDS PERMIT FOR IW# 612 – 19 Carmela Terrance – Application for a permit to construct a 14' x 24' shed within the escarpment and wetland soil areas as delineated by the Town of Enfield's Official Wetlands Map on the property known as 19 Carmela Terrance; Jody Foisy, Owner; Map 063 / Lot 0176; Zone R-33.

Prior to the Start of Construction:

1. Prior to the start of construction or, if applicable, the issuance of a building permit(s) the full-size plans as approved by the Agency (and the Planning and Zoning Commission) shall be submitted to the Inland Wetlands Agent;
2. The permittee/contractor shall schedule a pre-construction meeting (if required) with the Inland Wetlands Agent to be held no sooner than two (2) weeks before the regulated activities are to begin. The permittee shall, at that time, review with the Inland Wetlands Agent, the procedures to be taken to protect the regulated areas prior to and during construction;
3. The applicant must submit a Sediment & Erosion Control Bond in an amount to be determined by the Director of Planning and the Town Engineer. This bond can be returned to the applicant upon completion and inspection of all work to be done on the property;
4. The Inland Wetlands and Watercourses Agency or its designated Agent must be notified in writing within three (3) business days of the proposed commencement of permitted activities, and upon completion of said activities; a "business day" is a day when the Town Hall is open for business.
5. Prior to the start of construction, adequate erosion and sedimentation control measures shall be implemented, and shall be maintained throughout the entire construction phase and shall meet or exceed the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, as revised, until the site has become stabilized with permanent vegetative cover.
6. The Permittee shall submit a plan noting plant type and number of plants to be placed in affected area.
7. The Standard Town Notes must be added to the final plans submitted to the Planning Office.

General Conditions:

Page 2 of 4



TOWN OF ENFIELD

8. This approval shall be valid for five (5) years from the date of approval unless otherwise revoked or specifically extended;
9. All work and all regulated activities conducted pursuant to this permit shall be consistent with these terms and conditions hereof. Any structures, excavation, fill, obstruction, encroachments or regulated activities not specifically identified and authorized herein shall constitute a violation of this permit and may result in its modification, suspension, or revocation. Upon initiation of the activities authorized herein, the permittee thereby accepts and agrees to comply with the terms and conditions hereof;
10. This approval is not transferable without the written consent of the Enfield Inland Wetlands and Watercourses Agency or its designated Agent;
11. In issuing this approval, the Agency has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete and/or inaccurate this permit shall be modified, suspended or revoked;
12. This approval shall be made a part of all construction contracts and sub-contracts pertaining to the proposed regulated activities and shall supersede all other contract requirements;
13. The permittee shall permit the Agency, its authorized representative(s) or designee(s) to make periodic inspections at any time deemed necessary in order to assure that the activity being performed under authority of this permit is in accordance with the terms and conditions prescribed herein;
14. No equipment or material including without limitation, fill, construction materials, or debris, shall be deposited, placed, or stored in any wetland or watercourse on or off site unless specifically authorized by this permit;
15. This approval is subject to and does not derogate any present or future property rights or other rights or powers of the Town of Enfield, and conveys no property rights or in real estate of material nor any exclusive privileges, and is further subject to any and all public and private rights and to any activity affected hereby;
16. The construction site shall be left in a stable condition at the close of each day. An adequate stockpile of erosion control materials shall be on site at all times for emergency or routine replacement and shall include materials to repair silt fences, hay bales, mulch, stone-riprap filter dikes or any other devices planned for use during construction. Additional erosion/stormwater control measures are to be installed as directed by the Inland Wetland Agency, its authorized representative(s) or designee(s) if field conditions necessitate.



TOWN OF ENFIELD

17. The permittee shall immediately inform the Planning Division of any problems involving wetlands or watercourses which have developed in the course of, or which are caused by, the authorized work;
18. All temporary barriers, including erosion and sedimentation controls are to be removed when the site is stabilized in suitable weather conditions. The site is considered stabilized when there is equal to or greater than 70% vegetative cover;
19. With the exception of the addition of the items stated in these conditions, this application is approved in accordance with the plans referenced above. Any changes that would potentially cause greater impact to wetlands or watercourses, such as enlargement of the area of disturbance or reorientation of building footprints, from the plans shall require the permittee to come before the Enfield Inland Wetlands and Watercourses Agency for a Determination of Permit Modification.
20. The Inland Wetlands and Watercourses Permit number shall be located on all future plans to any Town or State Agency.
21. The Wetland Permittee shall complete the permit prerequisites and file the permit on the Land Records within 365 days.

The Inland Wetlands and Watercourses permit, when issued, does not abrogate the applicant's responsibility to obtain permits that may be necessary from other agencies at the local, state or federal level prior to commencing the project.

REFERENCE PLANS

1/1 – "IW 612 – 19 Carmela Terrance – Site Plan" drawn by the applicant.

DATED this day 15th day of July 2020.



RECEIVED
ENFIELD PLANNING DEPT

TOWN OF ENFIELD 2020 JUL 14 AM 5:59

Inland Wetlands & Watercourses Agency

Planning Division • 820 Enfield Street Enfield, CT 06082

Telephone: 860-253-6355 Website: www.enfield-ct.gov

Permit Application for Inland Wetlands & Watercourses Activity

Application For: Permit Extension Agent Approval ~~Modification (Existing Permit/ Application #'s):~~
 Modification (Existing Permit/ Application #'s): TB-20-501 *Deny*

Staff Use Only	
IW #:	<u>612</u> View Permit #: <u>TPL-20-83</u>
IWWA Regulation Section:	

PLEASE REVIEW LAND USE APPLICATION GUIDE FOR INSTRUCTIONS

Property Address: 19 Carmela Terrace, Enfield CT 06082 Map #: 063 Lot #: 0176

Zone(s): R33 Size of Parcel: 0.46 Account #: 046700010050

Current Use: NONE - Residential

Project Name: Shed

Summary Description: The Barn Yard to place a 14' x 24' shed on gravel in Back Yard

Applicant's Name: Jody Foisy

Applicant's Address: 19 Carmella Terrace, Enfield CT 06082

Contact #: 774-253-3819 Email: JFoisy1985@hotmail.com

Applicant's Representative: _____

Representative Address: _____

Contact #: _____ Email: _____

Does Applicant own the Property? Yes (Attach Copy of DEED)
 No (Provide Information Below)



TOWN OF ENFIELD

Owner's Name: _____

Owner's Contact #: _____

Owner's Address: _____

Owner's Email: _____

Project Information:

Septic: Yes No

Public Sewer: Yes No

Well Water: Yes No

Public Water: Yes No

Outdoor Storage: Yes No

Design District: Yes No

Do wetlands and watercourses affect this application? Yes No

Is the property within a Level A or Level B Aquifer Protection Area? Yes No

Does this application include any regulated activity in a floodplain Yes No

(If yes, you will need to also submit a Flood Hazard Development Permit application to the Planning & Zoning Commission)

What is the total lot acreage? 0.46000918

What is the length of the property frontage? (List by Street) 133.94

Name the abutting street(s): NONE

What are the existing land uses and zoning districts for abutting properties or across the street(s)?

North NONE R-33

East NONE R-33

South NONE R-33

West NONE R-33



TOWN OF ENFIELD

Environmental History:

Is any portion of the property located within 500 feet of an adjoining municipality? Yes No

Name Municipalities: _____

Area of wetlands located on the property: 1/2 . 18 Acres Square Feet

Area of wetlands to be impacted: 330 square feet Square Feet

Watercourses located on the property: Yes No

Name and type of watercourses: NO NAME - small brook on very edge of Property.

Are proposed activities located within the 100-Year floodplain? Yes No

Are proposed activities located within a floodway? Yes No

Are there slopes with grades in excess of 15% located on the property? Yes No

Is any portion of the project located within a public water supply aquifer or watershed area? Yes No

Phase I: Land Records reviewed for environmental hazards? Yes No

Phase II: Environmental Hazards Identified? Yes No

If yes, please list the environmental conditions found: NONE



TOWN OF ENFIELD

Phase 3: Is there a remediation plan? Yes No

If yes, please describe the remediation plan: NONE

Multiple horizontal lines for describing the remediation plan.

Are there environmental restrictions on the property? Yes No

If yes, please list environmental restrictions: NONE

Multiple horizontal lines for listing environmental restrictions.

COMPLETE & SUBMIT:

INLAND WETLANDS & WATERCOURSES APPLICATION CHECKLIST

COMPLETE & SUBMIT:

STATE OF CONNECTICUT INLAND & WETLANDS WATERCOURSE ACTIVITY REPORTING FORM



TOWN OF ENFIELD

The applicant understands that this application is to be considered complete only when all information and documents required by the Agency have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Enfield, Inland Wetlands & Watercourses Agency, and its agent(s) to walk the land, at reasonable times, and perform those tests necessary to properly review the application, both before and after a final decision has been issued.

I have reviewed and acknowledge the Land Use Application Guide for further instructions on how to complete my application.

Applicant Signature: Jody Foisy Date: 7/14/2020

Print Name: Jody Foisy

Owner's Signature: Jody Foisy Date: 7/14/2020

Print Name: Jody Foisy

Subscribed and sworn to before me 14th day of July, 20 20.

[Signature] June 30, 2024

Notary Public

My Commission Expires:

For Office Use	
Application #: _____	Date Submitted: _____
DEP Form Submitted Date: _____	

Villalba, Savannah-Nicole

From: Jody Foisy <jfoisy1985@hotmail.com>
Sent: Tuesday, July 14, 2020 4:44 PM
To: Villalba, Savannah-Nicole; Rachele, Ricardo
Cc: Pacacha, Jennifer; Cabibbo, John
Subject: Re: Permit/Application: TB-20-501 at 19 CARMELA TERR for Residential - Shed over 200 Sq.Ft.
Attachments: thumbnail_20200714_155812.jpg; thumbnail_20200714_162636.jpg

RECEIVED
UNFIELD PLANNING BOARD
2020 JUL 14 AM 7:53

Hi Savannah,

Attached is the pictures. Please note: We let the over growth grow a little. The leveled land still goes past what we have cleared before the slope starts. The structure is about 27ft give or take from the corner of the house.

Description of the project: We would like to place a 14' x 24' shed on crushed gravel. The area the shed will be going is a leveled area on our property.

Sincerely,
Jody Foisy

From: Villalba, Savannah-Nicole <svillalba@enfield.org>
Sent: Tuesday, July 14, 2020 11:14 AM
To: Jody Foisy <jfoisy1985@hotmail.com>; Rachele, Ricardo <rrachele@enfield.org>
Cc: Pacacha, Jennifer <jpacacha@enfield.org>; Cabibbo, John <jcabibbo@enfield.org>
Subject: RE: Permit/Application: TB-20-501 at 19 CARMELA TERR for Residential - Shed over 200 Sq.Ft.

Hi Jody,

The next Inland Wetlands and Watercourses Agency meeting is on Tuesday, July 21, 2020. If you would like to be on that agenda please try to submit your application as soon as possible, preferably today or early tomorrow. That will ensure we have time to process it before the Agency's meeting.

Thanks,
Savannah-Nicole

Savannah-Nicole Villalba

HI Rick,

I apologize for the double et place the shed. I will fill out crushed rock and movable, r that or not.

I will submit the permit asap

Sincerely,
Jody Foisy

From: Jody Foisy <jfoisy1985@
Sent: Tuesday, July 14, 2020 1
To: Rachele, Ricardo <rrachele@
Cc: Villalba, Savannah-Nicole <jcabibbo@enfield.org>
Subject: Re: Permit/Applicatio

HI Rick, Thank you for send

Just curious to avoid all this closest we can go to the edge off a little just for the look to

I left a message so either em

774-253-3819

Sincerely,
Jody Foisy

From: Rachele, Ricardo <rrachele@enfield.org>
Sent: Friday, July 10, 2020 1:00 PM
To: jfoisy1985@hotmail.com
Cc: Villalba, Savannah-Nicole <jcabibbo@enfield.org>
Subject: Permit/Application: "

Good Afternoon,

21

19

17

CARMELA TERR

2236.188533

INSTR # 2014009339
VOL 2598 PG 1033 03/24/2014 11:33:27 AM
RECORDED IN ENFIELD CT
SUZANNE F. DLECHNICKI TOWN CLERK
TOWN CONVEYANCE TAX RECEIVED \$487.25
STATE CONVEYANCE TAX RECEIVED \$1,461.75

After Recording Mail to:

Jody A. Foisy
19 Carmella Terrace
Enfield, CT 06082

WARRANTY DEED

To all people to whom these presents shall come, greeting:

Know ye, that William J. Audette and Madeleine M. Audette of the Town of Enfield, County of Hartford and State of Connecticut

for the consideration of One Hundred Ninety Four Thousand Nine Hundred Dollars (\$194,900.00)

paid, grant to Jody A. Foisy

with Warranty Covenants

A certain piece or parcel of land together with all buildings and improvements thereon and appurtenances thereto, situated on the Westerly side of Carmella Terrace, known as No. 19 Carmella Terrace in the Town of Enfield, County of Hartford and State of Connecticut, being further known and designated as Lot No. 9 according to and as shown on a certain map or plan entitled: "Property of Antonio Gannuscio Enfield, Conn. Scale 1"=100' Aug. 1957- Enfield Manor- Extension No. 1 Cecil W. Brooks", on file in the Town Clerk's Office said Town of Enfield, Book of Maps, Volume 5, Page 200, to which reference is hereby made for a more particular description, being bounded and described as follows:

NORTHERLY: By land now or formerly of Floyd L. Foltz, Jr., et al, a distance of One Hundred Fifty (150.00) Feet;
EASTERLY: By Carmella Terrace, a distance of One Hundred Thirty-Three and ninety-four one-hundredths (133.94) feet;
SOUTHERLY: By Lot No. 8 as shown on said map, a distance of One Hundred Fifty (150.00) feet; and
WESTERLY: By land now or formerly of John H. Woods, a distance of One Hundred Thirty-Three and ninety-four one-hundredths (133.94) feet.

Said premises are conveyed subject to:

1. Taxes on the current list which the grantees herein hereby assume and agree to pay as part consideration of this deed.
2. Pole line and guy wire easement in favor of Connecticut Light and Power Company as referenced in a deed dated August 20, 1976 and recorded in Volume 418 at Page 174 of the Enfield Land Records.
3. Permanent Drainage Easement dated June 3, 1987 and recorded June 4, 1987 in Volume 550 at Page 4 and shown on Map in Volume 215 at Page 2766 of the Enfield Land Records.
4. Possible Pipe Rights that may exist as shown on subdivision map.
5. Building lines, if established, building and zoning ordinances, and any and all municipal and state and federal regulations including inland wetlands regulations and provisions of any public or private law affecting said premises.

RECEIVED
ENFIELD TOWN CLERK
2020 JUL 14 AM 5:54

Signed this 22 day of JANUARY, 2014.

Carle Dushoff
WITNESS

x William J. Audette (L.S.)
William J. Audette

Stephanie
WITNESS

x Madeleine M. Audette (L.S.)
Madeleine M. Audette

Ma. Dolu
WITNESS

Mary Krocke
WITNESS

STATE OF CONNECTICUT
COUNTY OF Hartford

DATE: 1-22-14

On this the 22ND day of JANUARY, 2014, before me, the undersigned officer, personally appeared William J. Audette, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he/she executed the same for the purposes therein contained. In witness whereof I hereunto set my hand.

SEAL

Diane Owen
Notary Public
My Commission Expires:
DIANE OWEN
NOTARY PUBLIC
DATE: _____
MY COMMISSION EXPIRES MAR. 31, 2014

STATE OF CONNECTICUT
COUNTY OF Hartford

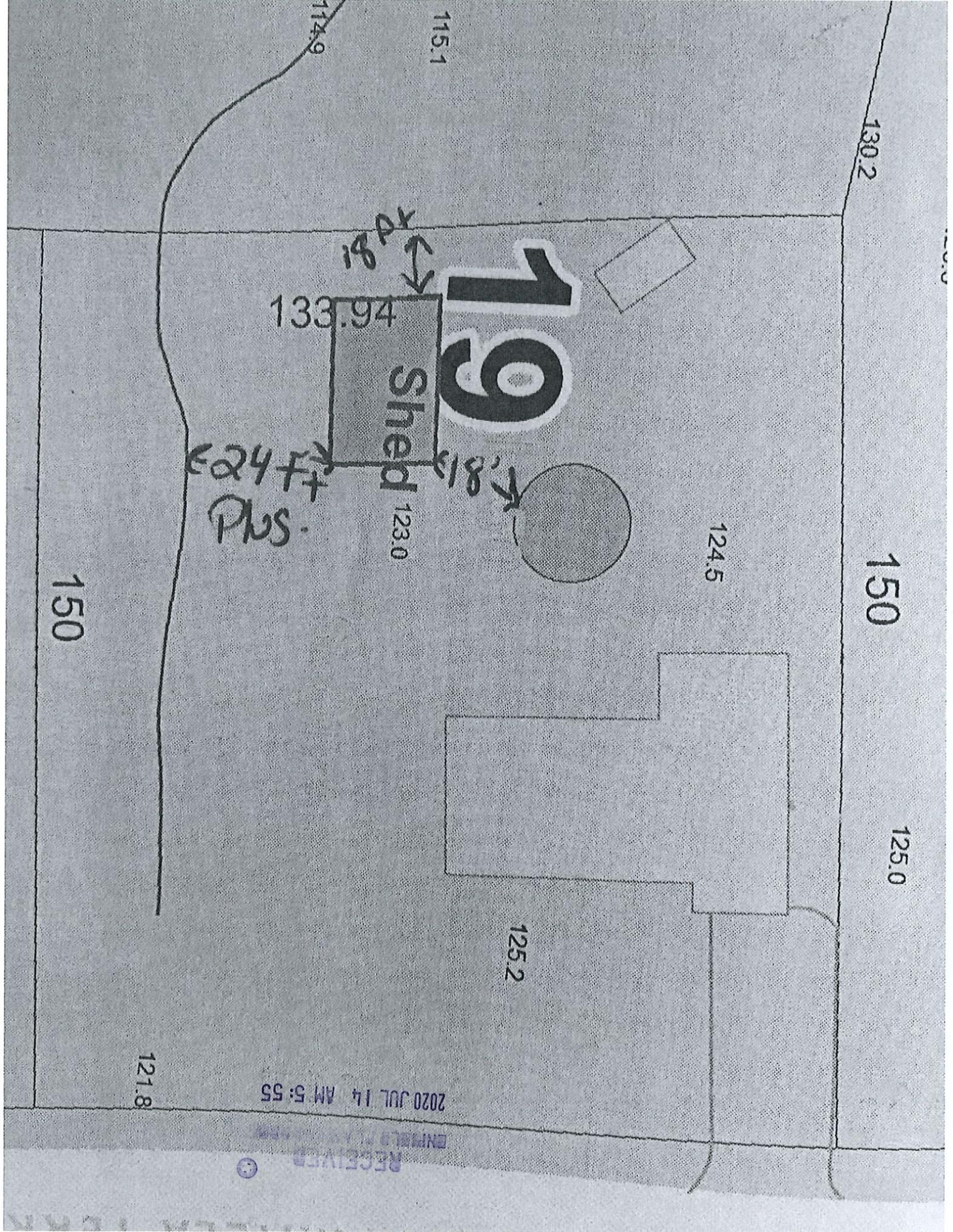
On this the 22ND day of JANUARY, 2014, before me, the undersigned officer, personally appeared Madeleine M. Audette, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he/she executed the same for the purposes therein contained. In witness whereof I hereunto set my hand.

SEAL

Diane Owen
Notary Public
My Commission Expires:

Grantee's Mailing Address:

DIANE OWEN
NOTARY PUBLIC
MY COMMISSION EXPIRES MAR. 31, 2014



130.2

115.1

114.9

19

133.94

Shed 123.0

18' 0"

18'

24 FT
PWS.

124.5

150

125.0

150

125.2

121.8

2020 JUL 14 AM 5:55

RECEIVED
ENR...
②

STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Pursuant to section 22a-39(m) of the General Statutes of Connecticut and section 22a-39-14 of the Regulations of Connecticut State Agencies, inland wetlands agencies must complete the Statewide Inland Wetlands & Watercourses Activity Reporting Form for **each** action taken by such agency.

This form may be made part of a municipality's inland wetlands application package. If the municipality chooses to do this, it is recommended that a copy of the Town and Quadrangle Index of Connecticut and a copy of the municipality's subregional drainage basin map be included in the package.

Please remember, the inland wetlands agency is responsible for ensuring that the information provided is **accurate** and that it reflects the **final** action of the agency. Incomplete or incomprehensible forms will be mailed back to the agency. Instructions for completing the form are located on the following pages.

The inland wetlands agency shall mail completed forms for actions taken during a calendar month no later than the 15th day of the following month to the Department of Energy and Environmental Protection (DEEP). Do **not** mail this cover page or the instruction pages. Please mail **only** the **completed** reporting form to:

DEEP Land & Water Resources Division
Inland Wetlands Management Program
79 Elm Street, 3rd Floor
Hartford, CT 06106

Questions may be directed to the DEEP's Inland Wetlands Management Program at (860) 424-3019.

INSTRUCTIONS FOR COMPLETING

THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

*Use a separate form to report EACH action taken by the Agency. Complete the form as described below.
Do NOT submit a reporting form for withdrawn actions.*

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example: if an enforcement notice was given and subsequent permit issued - two forms for the two separate actions are to be completed).
 - A** = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B** = Any Permit Denied by the Inland Wetlands Agency
 - C** = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D** = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E** = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F** = A Jurisdictional Ruling by the Inland Wetlands Agency (i.e.: activities "permitted as of right" or activities considered non-regulated)
 - G** = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H** = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.

Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the Connecticut Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. Click on the following website for USGS Quad Map information: http://ct.gov/deep/lib/deep/gis/resources/Index_NamedQuadTown.pdf

ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If the action/project/activity is located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn CLEAR's website: http://clear.uconn.edu/data/map_set/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (i.e., don't just state "forestry", provide details such as "20 acre forestry harvest, permit required for stream crossing".)

9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N".

- | | |
|--|---|
| A = Residential Improvement by Homeowner | I = Storm Water / Flood Control |
| B = New Residential Development for Single Family Units | J = Erosion / Sedimentation Control |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation |
| D = Commercial / Industrial Uses | L = Routine Maintenance |
| E = Municipal Project | M = Map Amendment |
| F = Utility Company Project | N = State Agency Project |
| G = Agriculture, Forestry or Conservation | P = Other (this code includes the approval of
concept plans with no-on-the-ground work) |
| H = Wetland Restoration, Enhancement, Creation | |

10. Enter between one and four code numbers to best characterize the project or activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- | | |
|--|--|
| 1 = Filling | 8 = Underground Utilities Only (no other activities) |
| 2 = Excavation | 9 = Roadway / Driveway Construction |
| 3 = Land Clearing / Grubbing (no other activity) | 10 = Drainage Improvements |
| 4 = Stream Channelization | 11 = Pond, Lake Dredging / Dam Construction |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review
Area |
| 6 = Stream Clearance (removal of debris only) | 14 = Activity in Upland |
| 7 = Culverting (not for roadways) | |

Examples: Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body". For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream". Remember that these figures represent only the acreage altered not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses (question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered). You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

PART III: To Be Completed By The DEEP - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions, only use one code): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (print name): Enfield
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the action is occurring (print name(s)): _____, _____
- LOCATION (see instructions for information): USGS quad name: _____ or number: 8
subregional drainage basin number: 4000
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Jody Foisy
- NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): Jody Foisy 19 Carmela Terrace, Enfield CT 06082
briefly describe the action/project/activity (check and print information): temporary permanent description: The Barn Yard to place a 14' x 24' Shed on crushed gravel in back yard (land is level.)
- ACTIVITY PURPOSE CODE (see instructions, only use one code): A
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1, _____, _____, _____
- WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):
wetlands: 0.00757576 (330 SQ Feet) acres open water body: _____ acres stream: _____ linear feet
- UPLAND AREA ALTERED (must provide acres): 0 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

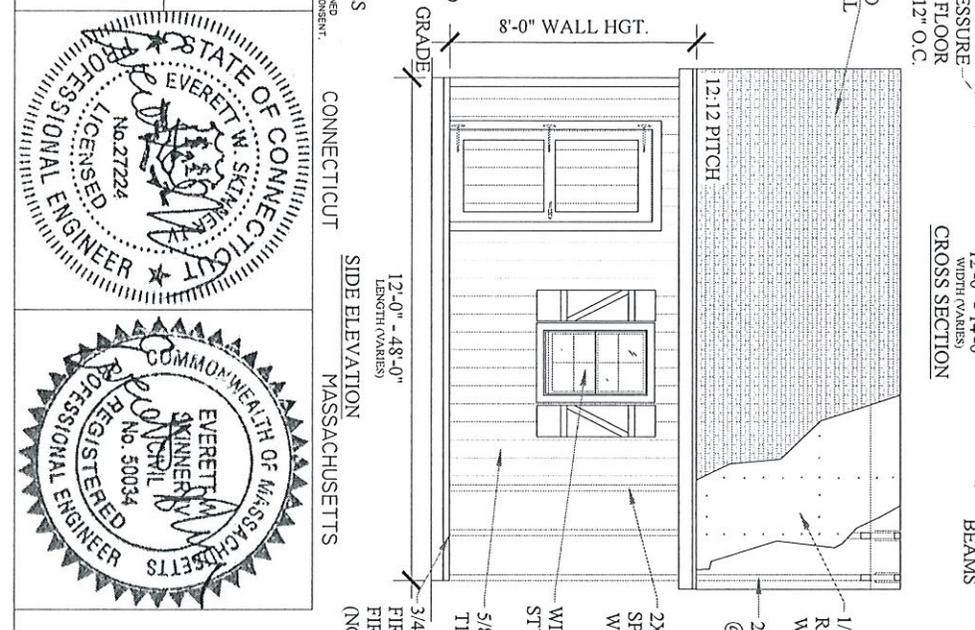
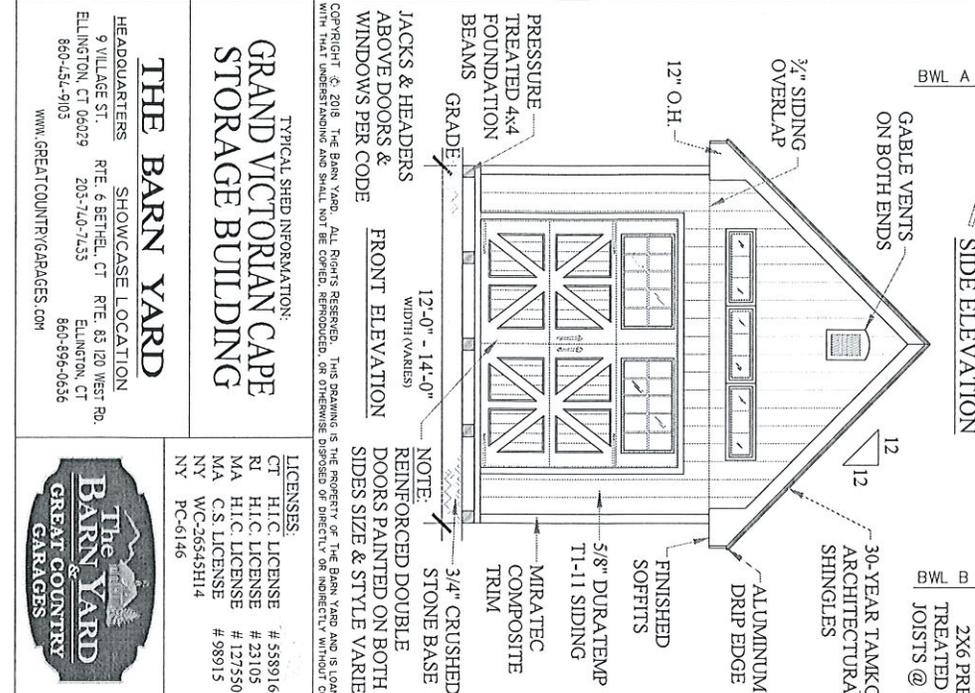
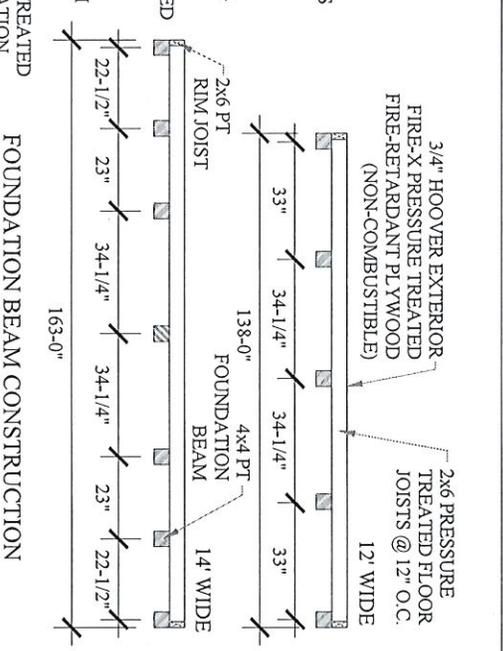
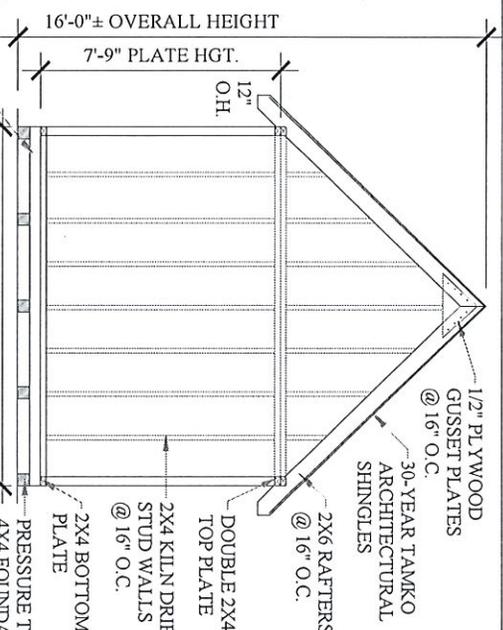
DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



RECEIVED
 2018 JUN 14 AM 5:55
 W/ 3/4" DURATEMP T1-11 SIDING
 2X4 KILN DRIED SPRUCE
 STUD WALLS @ 16" O.C.
 W/ 3/4" DURATEMP T1-11 SIDING

FOUNDATION BEAM CONSTRUCTION

— = BRACED WALL PANEL "BWP" LOCATION
 IN ACCORDANCE WITH METHOD CS-WSP
 SECTION R602.10.4: 6" ON EDGES
 12" IN FIELD USING 6D COMMON
 FASTENERS (2X0 113)

NOTE: NOT CODE
 PRESCRIPTIVE DUE TO 6'-6" WALL HEIGHT

BUILDING CODES & DESIGN DATA:
 * 2018 CONNECTICUT STATE BUILDING CODE
 * 2015 INTERNATIONAL RESIDENTIAL CODE
 * THE MASSACHUSETTS BUILDING RESIDENTIAL
 CODE 780 CMR NINTH EDITION.
 * 60 PSF SNOW LOAD (ROOF)
 * 3-SECOND GUST OF V₅₀ = 140 MPH
 * FLOOR DESIGN MEETS REQUIREMENTS OF
 SECTION R301.5 FLOOR SYSTEM WILL
 SUPPORT 2000 LB LOAD APPLIED
 OVER A 20 SQUARE INCH AREA
 * THIS STORAGE BUILDING IS DESIGNED TO BE
 PLACED ON 6" DEEP 3/4" CRUSHED STONE BASE
 * FROST PROTECTION NOT REQUIRED UP TO
 600 SQUARE FEET PER SECTION R403.1.4.1

TYPICAL SHED INFORMATION:
**GRAND VICTORIAN CAPE
 STORAGE BUILDING**

HEADQUARTERS
 9 VILLAGE ST.
 ELLINGTON, CT 06029
 860-451-4903
 WWW.GREATCOUNTRYGARAGES.COM

SHOWCASE LOCATION
 RTE. 6 BETHEL, CT
 203-746-7453

RTE. 83 120 WEST RD.
 ELLINGTON, CT
 860-996-0636

THE BARN YARD
 GREAT COUNTRY
 GARAGES

CONNECTICUT
 LICENSED PROFESSIONAL ENGINEER
 No. 27224
 EVERETT W. SKINNER

MASSACHUSETTS
 REGISTERED PROFESSIONAL ENGINEER
 No. 50034
 EVERETT W. SKINNER
 CIVIL

LICENSES:
 CT H.I.C. LICENSE # 558916
 RI H.I.C. LICENSE # 23105
 MA H.I.C. LICENSE # 127550
 MA C.S. LICENSE # 98915
 NY WC-26545H14
 NY PC-6146

STANDARD FEATURES:
 BASE: 4X4 PRESSURE-TREATED BEAMS
 FLOOR FRAMING: 2X6 PRESSURE-TREATED JOISTS, 12" O.C.
 FLOORING: 3/4" HOOVER EXTERIOR FIRE-X PRESSURE
 TREATED FIRE-RETARDANT PLYWOOD
 (NON-COMBUSTIBLE)
 WALL & ROOF FRAMING:
 PREMIUM 2X4 KILN DRIED
 SPRUCE LUMBER @ 16" O.C.
 5/8" DURATEMP T1-11 OR VINYL
 30-YEAR TAMKO ARCHITECTURAL SHINGLES
 HEAVY-DUTY, REINFORCED AND PAINTED
 ON BOTH SIDES
 SIZES:
 8'X8' TO 14'X48'

19 CARMELA TERR

Location 19 CARMELA TERR

Mblu 063 / / 0176 / /

Acct# 046700010050

Owner FOISY JODY A

Assessment \$121,290

Appraisal \$173,270

PID 970

Building Count 1

Fire District 2



Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2017	\$110,260	\$63,010	\$173,270
Assessment			
Valuation Year	Improvements	Land	Total
2017	\$77,180	\$44,110	\$121,290

Owner of Record

Owner FOISY JODY A
 Co-Owner
 Address 19 CARMELA TERR
 ENFIELD, CT 06082

Sale Price \$194,900
 Certificate
 Book & Page 2598/1033
 Sale Date 03/24/2014
 Instrument 07

Ownership History

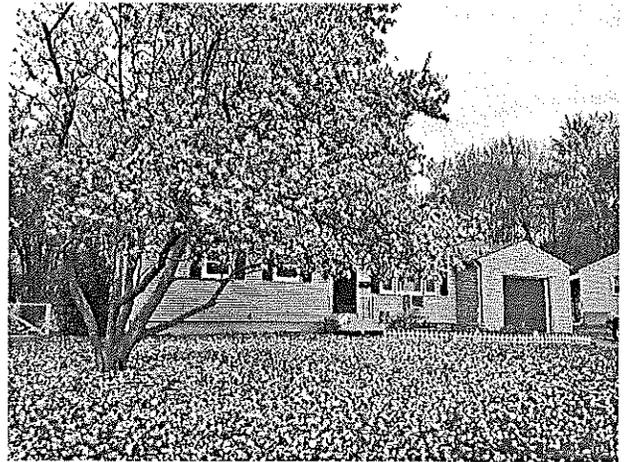
Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
FOISY JODY A	\$194,900		2598/1033	07	03/24/2014
AUDETTE MADELEINE M +WILLIAM J	\$0	1	1240/0213		09/29/1999
KNIEP MADELEINE M +	\$0	2	0646/0016		06/24/1991
KNIEP MADELEINE M	\$0	3	0000/0000		10/29/1990

Building Information

Building 1 : Section 1

Year Built: 1959
Living Area: 1,114
Replacement Cost: \$144,110
Building Percent Good: 76
Replacement Cost Less Depreciation: \$109,520

Building Photo



(http://images.vgsi.com/photos2/EnfieldCTPhotos/A00\01\84\82.JPG)

Building Attributes	
Field	Description
Style	Ranch
Model	Residential
Grade:	
Stories	1.00
Occupancy	1
Exterior Wall 1	Vinyl Siding
Exterior Wall 2	
Roof Structure	Gable
Roof Cover	Asphalt
Interior Wall 1	Drywall
Interior Wall 2	
Interior Flr 1	Hardwood
Interior Flr 2	Carpet
Heat Fuel	Oil
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms:	3 Bedrooms
Full Bthrms:	1
Half Baths:	0
Extra Fixtures	
Total Rooms:	5
Bath Style:	Average
Kitchen Style:	Average
Extra Kitchens	
Fireplace(s)	1
Extra Opening(s)	0
Gas Fireplace(s)	
Blocked FPL(s)	
Usrflid 106	
Bsmt Garage(s)	
Fin Bsmt	624
FBM Quality	Rec Room
Whirlpool(s)	
Sauna	
Walk Out	No

Building Layout

Building Layout (ParcelSketch.ashx?pid=970&bid=970)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1,114	1,114
BSM	Basement	960	0
FEP	Finished Enclosed Porch	240	0
FGR	Garage	252	0
SLB	Slab	154	0
		2,720	1,114

Solar	
Usrflid 300	
Usrflid 301	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 101
 Description Res Dwelling
 Zone R33
 Neighborhood 050
 Alt Land Appr No
 Category

Land Line Valuation

Size (Acres) 0.46
 Frontage 134
 Depth
 Assessed Value \$44,110
 Appraised Value \$63,010

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
SHD1	Shed	FR	Frame	120.00 S.F.	\$740	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2018	\$110,260	\$63,010	\$173,270
2017	\$110,260	\$63,010	\$173,270
2016	\$110,260	\$63,010	\$173,270

Assessment			
Valuation Year	Improvements	Land	Total
2018	\$77,180	\$44,110	\$121,290
2017	\$77,180	\$44,110	\$121,290
2016	\$77,180	\$44,110	\$121,290

State of Connecticut (CT600)

State of Connecticut (CT600)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
36B	Windsor loamy sand, 3 to 8 percent slopes	0.5	37.5%
108	Saco silt loam	0.2	17.1%
306	Udorthents-Urban land complex	0.6	45.5%
Totals for Area of Interest		1.4	100.0%



The USDA Soil Survey is showing that the area for the proposed shed is comprised mostly of Udorthents-Urban land complex soil type. The Udorthents-Urban land Complex soil type “consists of moderately well drained to excessively well drained soils that have been disturbed by cuffing or filling, and areas that are covered by buildings and pavement.”¹”



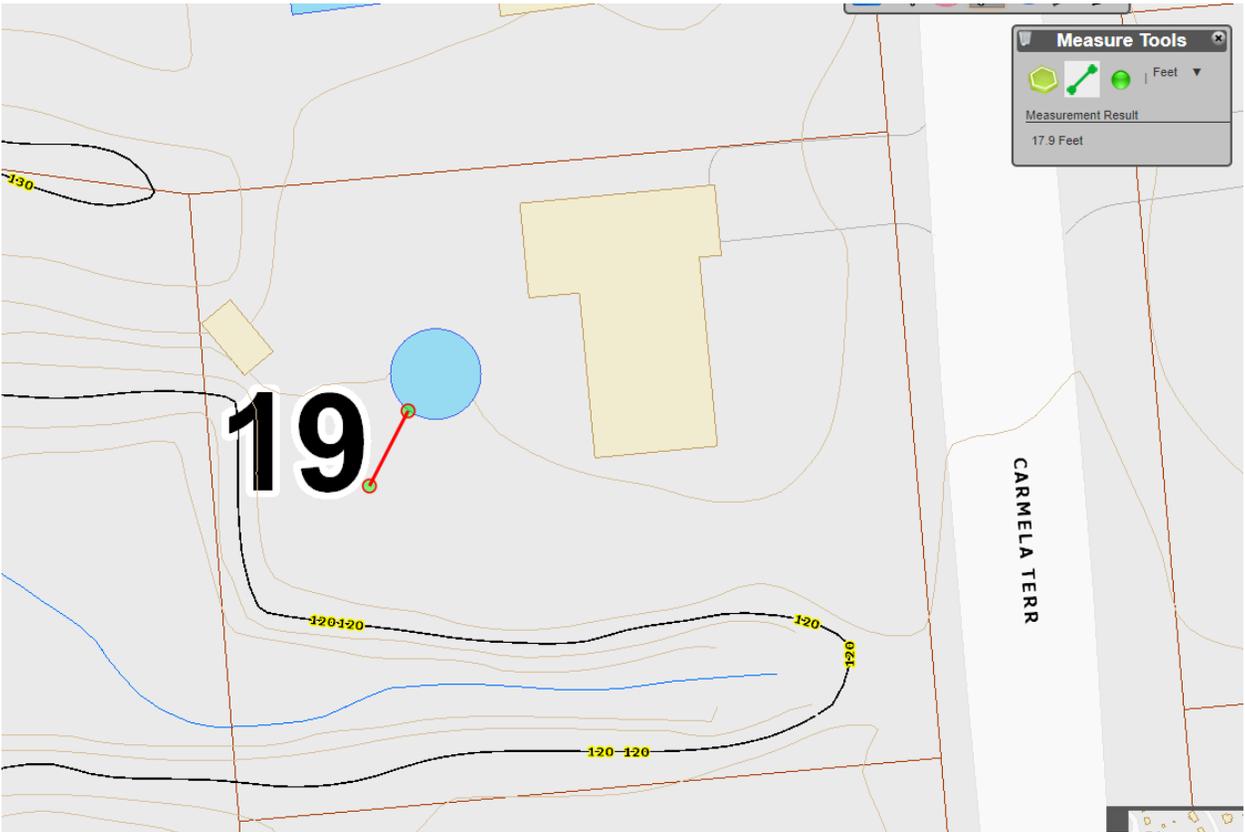
The applicant proposes putting the shed 18’ from the pool. The USDA Soil Survey shows that there is 45’ of space from the pool that is classified as this well drained to excessively well drained soil type.



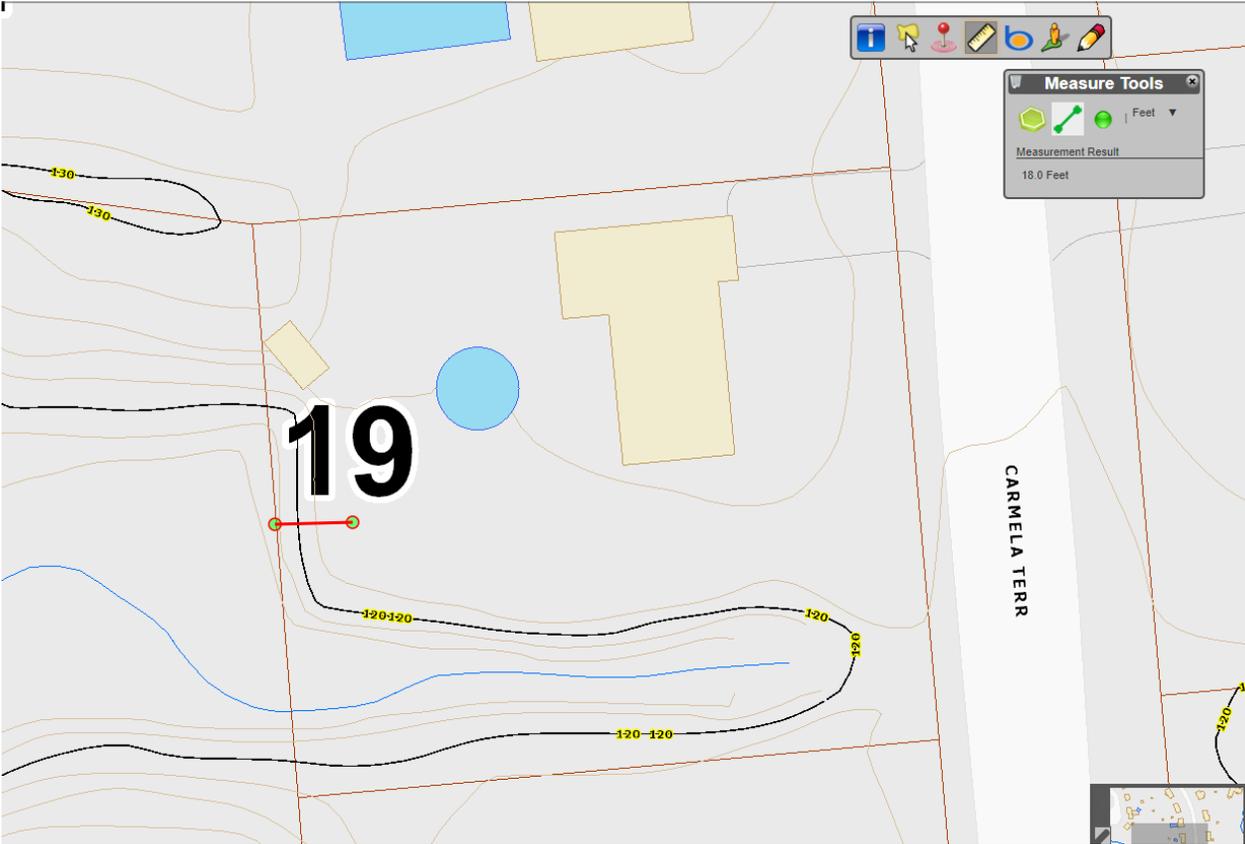
Warning: Soil Map may not be valid at this scale.
 You have zoomed in beyond the scale at which the soil map for this area is intended to be used. Mapping of soils is done at a particular scale. The soil surveys that comprise your ACS were mapped at 1:12,000. The design of map units and the level of detail shown in the resulting soil map are dependent on that map scale. Enlargement of maps beyond the scale of mapping can cause misinterpretation of the detail of mapping and accuracy of soil information. [For more information on the accuracy of soil information, click here.](#)

Segment	Distance (Feet/Miles)	Distance (Meters/Kilometers)
Segment 1	70 feet	21 meters
Total Distance	70 feet	21 meters

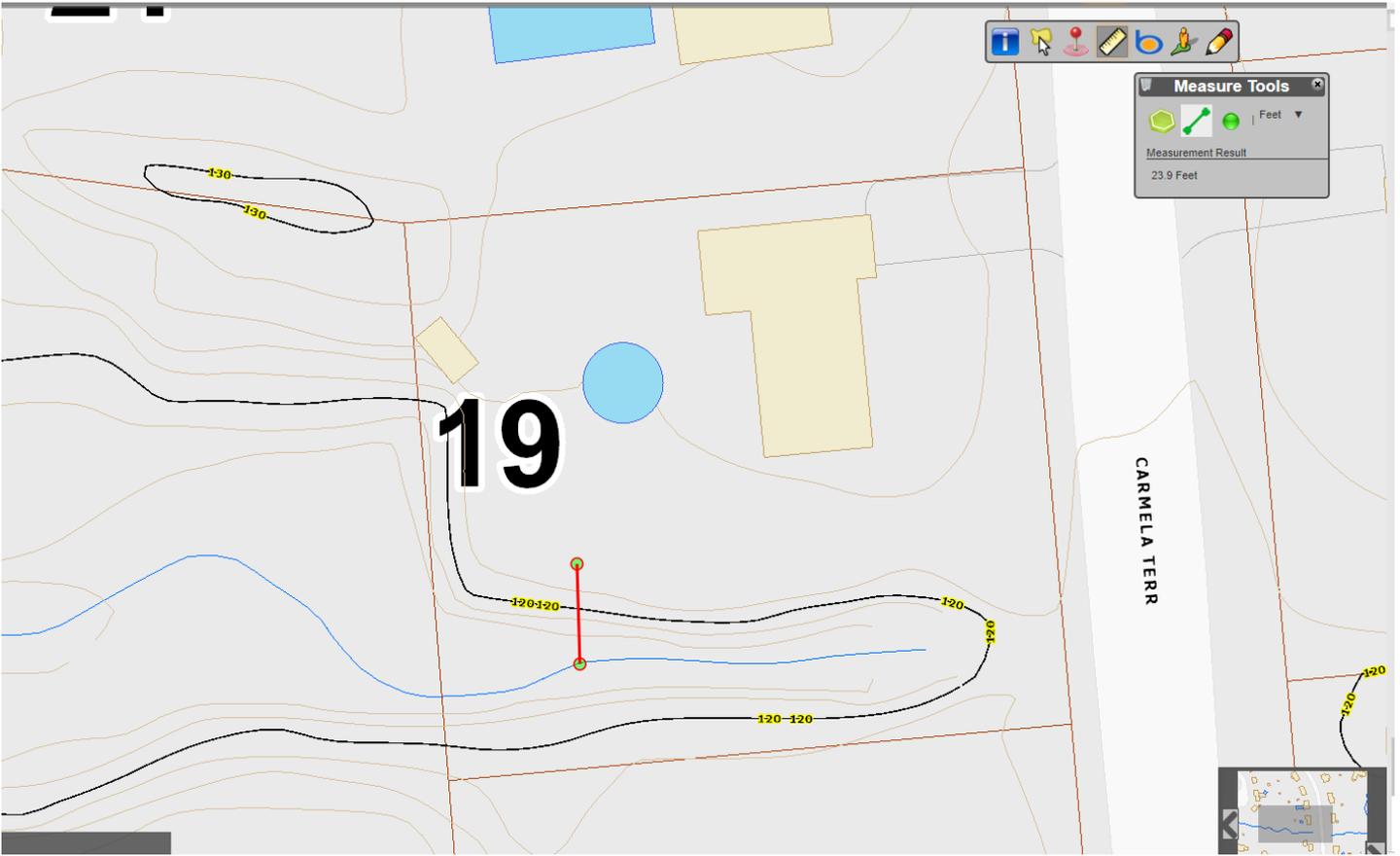
The applicant proposes putting the shed +/- 27' from the corner of the house. The USDA Soil Survey shows that there is 70' of space from the corner of the house to the boundary that is classified as this well drained to excessively well drained soil type.



18' from the pool – in between 122' and 124' elevation



18' from the rear lot line – in between 122' and 124' elevation



24' from the river - in between 122' and 124' elevation







TOWN OF ENFIELD

Inland Wetlands & Watercourses Agency

Planning Division • 820 Enfield Street Enfield, CT 06082

Telephone: 860-253-6355 Website: www.enfield-ct.gov

Permit Application for Inland Wetlands & Watercourses Activity

Application For: Permit Extension Agent Approval Other _____
 Modification (Existing Permit/ Application #'s): _____

Staff Use Only

IW #:	<u>IW # 613</u>	View Permit #:	<u>TC-20-8</u>
IWWA Regulation Section:			

PLEASE REVIEW LAND USE APPLICATION GUIDE FOR INSTRUCTIONS

Property Address: 50 Hazard Avenue Map #: 56 Lot #: 22

Zone(s): Business Regional Size of Parcel: ±1,494,000 SF Account #: 001000020005

Current Use: Regional Shopping Center

Project Name: Brookside Plaza Expansion (Burlington Coat Factory)

Summary Description:

The project proposes the renovation and expansion of a portion of the main retail strip at Brookside Plaza. The +/- 6,300 SF expansion will take place in the back of house area roughly behind the current Walgreens, replacing existing asphalt pavement. The existing loading dock and trash compactor will be shifted to the east. To accommodate the loading dock relocation, the landscape island will be reformed. Existing drainage patterns will be maintained and there will be no net increase in impervious coverage.

Applicant's Name: Regency Centers c/o Michael Lai

Applicant's Address: 28 Church Lane, Suite 200, Westport, CT 06880

Contact #: (203) 635-5570 Email: MichaelLai@regencycenters.com

Applicant's Representative: Nate Kirschner - Langan

Representative Address: 555 Long Wharf Drive, 9th Floor, New Haven, CT 06511

Contact #: (860) 398-0196 Email: nkirschner@langan.com

Does Applicant own the Property? Yes (Attach Copy of DEED)
 No (Provide Information Below)

DEED was submitted to the Town of Enfield IWWA on May 22nd, 2020 and authorized for agent approval on June 16th, 2020 under DPN #2020-05-22.



TOWN OF ENFIELD

Owner's Name: Equity One (Northeast Portfolio) c/o Michael Lai

Owner's Contact #: 203-635-5570

Owner's Address: 28 Church Lane, Suite 200, Westport, CT

Owner's Email: MichaelLai@regencycenters.com

Project Information:

Septic: Yes No

Public Sewer: Yes No

Well Water: Yes No

Public Water: Yes No

Outdoor Storage: Yes No

Design District: Yes No

Do wetlands and watercourses affect this application? Yes No

Is the property within a Level A or Level B Aquifer Protection Area? Yes No

Does this application include any regulated activity in a floodplain? Yes No

(If yes, you will need to also submit a Flood Hazard Development Permit application to the Planning & Zoning Commission)

What is the total lot acreage? ±34.3 AC (±1,494,000 SF)

What is the length of the property frontage? (List by Street) Hazard Avenue: ±1,700 LF,

Freshwater Boulevard: ±775 LF, Rosario T Vella Avenue: ±1,635 LF, Phoenix Avenue: ±1,015 LF

Name the abutting street(s): Hazard Avenue, Freshwater Boulevard, Rosario T Vella Avenue,

Phoenix Avenue

What are the existing land uses and zoning districts for abutting properties or across the street(s)?

North Use: Retail/Restaurant, Zone: BR

East Use: Retail/Restaurant, Zone: BR

South Use: Vacant Land, Zone: IP

West Use: Hotel/Restaurant, Zone: BR



TOWN OF ENFIELD

Environmental History:

Is any portion of the property located within 500 feet of an adjoining municipality? Yes No

Name Municipalities: n/a

Area of wetlands located on the property: 0 Square Feet

Area of wetlands to be impacted: 0 Square Feet

Watercourses located on the property: Yes No

Name and type of watercourses: n/a

Are proposed activities located within the 100-Year floodplain? Yes No

Are proposed activities located within a floodway? Yes No

Are there slopes with grades in excess of 15% located on the property? Yes No

Is any portion of the project located within a public water supply aquifer or watershed area?
 Yes No

Phase I: Land Records reviewed for environmental hazards? Yes No

Phase II: Environmental Hazards Identified? Yes No

If yes, please list the environmental conditions found: n/a



TOWN OF ENFIELD

The applicant understands that this application is to be considered complete only when all information and documents required by the Agency have been submitted. The undersigned warrants the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief. Permission is granted to the Town of Enfield, Inland Wetlands & Watercourses Agency, and its agent(s) to walk the land, at reasonable times, and perform those tests necessary to properly review the application, both before and after a final decision has been issued.

I have reviewed and acknowledge the Land Use Application Guide for further instructions on how to complete my application.

Applicant Signature: Lai Date: 05/19/2020

Print Name: Michael Lai

Owner's Signature: Lai Date: 05/19/2020

Print Name: Michael Lai

Subscribed and sworn to before me 19 day of May, 20 20.

[Signature] December 11/2026

Notary Public



My Commission Expires:

For Office Use	
Application #: _____	Date Submitted: _____
DEP Form Submitted Date: _____	



The documents indicated in the checklist below were submitted to the Town of Enfield IWWA on May 22nd, 2020. These documents were authorized for agent approval on June 16th, 2020 under DPN #2020-05-22.

TOWN OF ENFIELD

Enfield Inland Wetlands and Watercourses Agency Application Checklist

Documents Required	
<input type="checkbox"/>	All plans including revised plans must be submitted to the Department 25 days prior to a Board or Commission meeting. Plans will be reviewed, circulated, and commented by appropriate Departments.
<input type="checkbox"/>	An original of the completed application form and site plan and fourteen (14) full size copies of the set of site plans and any report. (5 Copies per Correspondence with Town)
<input type="checkbox"/>	Fourteen (14) copies of 24 X 36 plans are to be submitted in complete sets- stapled and map folded. Part II of the DEEP Reporting Form completed. (5 Copies per Correspondence with Town)
<input type="checkbox"/>	Four (4) copies of all reports required are to be submitted. i.e. Drainage, stormwater, soils, etc.
<input type="checkbox"/>	Application Fee
<input type="checkbox"/>	If any portion of the project is located within a public water supply aquifer or watershed areas Public Act No. 06-53 of the CT G.S. requires the following: <ol style="list-style-type: none"> 1. Written notice including Project Notification Form (PNF) to the involved Water Company within seven (7) days of submittal of any application, petition, request, or plan to the Town of Enfield. 2. Notice to the Water Company by the applicant is to be by certified mail, return receipt requested. The PNF and Level A Aquifer Protection Area mapping can be obtained from the Town of Enfield Planning Department as well as online.
<input type="checkbox"/>	Pre and post development storm water drainage calculation, with drainage area map. N/A
<input type="checkbox"/>	Report on soil types and characteristics from Professional Soil Scientist who delineated wetlands. Report shall include a minimum of one (1) field soil profile for each wetland soil type within project area. Profile shall be presented in data sheet format. As needed as mapped. N/A
<input type="checkbox"/>	The applicant must certify whether any portion of the property is within 500 feet of an adjoining municipality, whether streets from an adjoining municipality will be used for entering or exiting the site, whether sewer or water drainage will flow through or impact and adjoin municipality or whether water run-off will impact streets or adjoining municipal or private property within an adjoining municipality. If the project falls within any of the above mentioned definition, then a letter must be sent by certified mail to the adjoining municipality. <ul style="list-style-type: none"> ▪ If the project falls within any of the above mentioned definitions, then a letter must be sent by certified mail to the adjoining municipalities Inland Wetland Agency along with a copy of the application and site plan being submitted to this Agency. Evidence of submission shall be submitted to the Enfield IWWA.
<input type="checkbox"/>	For proposed wetland impacts, a wetland assessment report from a soil scientist or other qualified individual. N/A



The documents indicated in the checklist below were submitted to the Town of Enfield IWWA on May 22nd, 2020. These documents were authorized for agent approval on June 16th, 2020 under DPN #2020-05-22.

TOWN OF ENFIELD

Site Plan Requirements	
<input type="checkbox"/>	Signed and Sealed by appropriate design professional (Surveyor, Engineer, Architect, and Landscape Architect) registered in the State of Connecticut.
<input type="checkbox"/>	Property boundaries, north arrow, name of project, date and type of drawing, subsequent dates of revision with description, names and addresses of engineers and surveyors (when appropriate), location map, property owner(s) and adjacent property owners.
<input type="checkbox"/>	Existing and proposed topography, structures, utilities, roadways and buildings. Plan/profile sheet shall be included for roads and all off road pipelines.
<input type="checkbox"/>	Soil types as mapped by the National Resource Conservation Service.
<input type="checkbox"/>	Wetlands located on adjacent properties, within approximately 100-feet of subject property.
<input type="checkbox"/>	Alternatives considered and rejected to be either shown on a site plan or explained in narrative form.
<input type="checkbox"/>	Soil and Erosion Control Measures including narrative, per 2002 CT E&S Control Guidelines at a minimum.
<input type="checkbox"/>	Wetlands boundaries delineated by a Professional Soil Scientist whose signatures are required on the site plan. GIS Delineation Shown
<input type="checkbox"/>	Limit of Upland Review Areas.
<input type="checkbox"/>	Cuts and fill volumes indicating source and type of fill, destination of removed fill, expect for single-family homes or similar. N/A
<input type="checkbox"/>	Limits of woody vegetation clearing. N/A
<input type="checkbox"/>	Well locations and setbacks from septic system and drainage swales.
<input type="checkbox"/>	Septic system locations including reserve areas, existing and proposed grading, spot grades and setbacks from wetland areas.
<input type="checkbox"/>	Storm water drainage systems.
<input type="checkbox"/>	All existing and proposed pipe sizes, length and inverts.
<input type="checkbox"/>	Test pit and soil profile locations.
<input type="checkbox"/>	Acreage of wetlands/watercourses on the site and the acreages presented separately of wetland, watercourses or upland review areas to be altered.
<input type="checkbox"/>	Boundaries of 100-year floodplain or floodway as determined by FEMA.



The documents indicated in the checklist below were submitted to the Town of Enfield IWWA on May 22nd, 2020. These documents were authorized for agent approval on June 16th, 2020 under DPN #2020-05-22.

TOWN OF ENFIELD

Detail Sheet	
<input type="checkbox"/>	Erosion and sediment control details along with a sequence plan.
<input type="checkbox"/>	Test pit logs.
<input type="checkbox"/>	Details of all proposed site improvements (i.e. drainage structures, pipes, footing drains, curtain drains, dewatering, cross section of septic system or sewer connection, cross section of detention, retention, or sediment basins, etc.).
<input type="checkbox"/>	Construction sequence specifications.
Public Hearing (If Required)	
<input type="checkbox"/>	Notice to immediate abutters by certified mail not less than twenty-one (21) days prior to the start of the public hearing.
<input type="checkbox"/>	A copy of the abutter's letter and proof of mailing notification is to be provided to the Planning Office 5 days prior to the scheduled public hearing. (If applicable).
<input type="checkbox"/>	Deadline to post public hearing sign(s) is 10 days prior to the scheduled meeting at which the application will be discussed.
	<ul style="list-style-type: none">THE ENFIELD IWWA AND/OR THE PLANNING OFFICE MAY REQUEST ADDITIONAL INFORMATION DURING THE PERMIT PROCESS AS NECESSARY.
Additional Information	
	<ul style="list-style-type: none">The Planning Department requires an electronic submission of all documents received in CD Format or on a USB drive.When multiple Commissions are involved the applicant must meet all conditions of approvals including final plan(s) revisions to obtain the appropriate signature of approval prior to applying to any other Land Use Commission.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

1. DATE ACTION WAS TAKEN: year: 2020 month: July
2. ACTION TAKEN (see instructions, only use one code): G
3. WAS A PUBLIC HEARING HELD (check one)? yes no
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) Savannah-Nicole Villalba (signature) Savannah-Nicole Villalba

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (print name): Enfield, CT
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the action is occurring (print name(s)): _____
6. LOCATION (see instructions for information): USGS quad name: Broad Brook or number: 23
subregional drainage basin number: 4003
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Regency Centers c/o Michael Lai
8. NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): Brookside Plaza, 50 Hazard Avenue
briefly describe the action/project/activity (check and print information): temporary permanent description: Construction of a Burlington Coat Factory building addition in the existing loading area, with associated site improvements.
9. ACTIVITY PURPOSE CODE (see instructions, only use one code): D
10. ACTIVITY TYPE CODE(S) (see instructions for codes): 2, 9, 10, 12
11. WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
12. UPLAND AREA ALTERED (must provide acres): ±1.5 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

Langan CT, Inc.

555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142

To: Inland Wetlands & Watercourses Agency

From: Nathan Kirschner – Langan

Info: Regency Centers

Date: 22 May 2020

Re: Wetlands Determination Request
Brookside Plaza Renovation – Burlington Coat Factory
50 Hazard Avenue
Enfield, Connecticut
Langan Project No.: 140161110

This memorandum has been prepared to request a wetlands determination in support of the proposed renovation and expansion to Brookside Plaza at 50 Hazard Avenue in Enfield Connecticut. A portion of the existing main retail strip will be converted to a Burlington Coat Factory replacing the existing Walgreen's.

As part of the renovation about ±6,300 square-feet will be added to the rear of the building and the existing loading dock relocated to the east. The project proposes minor utility and drainage modifications to accommodate the building improvements. The existing landscape islands in the loading area will be reformed to allow efficient truck access. As part of this project, there will be no net increase in impervious surfaces and the drainage patterns maintained to the extent feasible.

According to the Town of Enfield Official Wetlands Map and Town GIS mapping the Brookfield Plaza parking field is located within Wetlands Soils. The proposed expansion is entirely within the existing service and truck loading area. Based on our visual field observations, we could not identify evidence of wetlands soils within a 100-foot buffer of the development. The town GIS mapping and photos of the development area have been attached. It appears the town mapping is currently inaccurate in this particular area. It is the opinion of this office that this development is not located within the 100-foot upland review and will have no adverse impact on the wetlands within the town.

If you have any questions, or if you need additional information, please feel free to contact Nate Kirschner at nkirschner@langan.com or (203) 562-5771.

MEMO

Wetlands Determination Request
Brookside Plaza Renovation – Burlington Coat Factory
Enfield, Connecticut
Langan Project No.: 140161110
22 May 2020- Page 2 of 4



Photo 1: Development Area Looking North



Photo 2: Development Area Looking North

[Type here]

MEMO

Wetlands Determination Request
Brookside Plaza Renovation – Burlington Coat Factory
Enfield, Connecticut
Langan Project No.: 140161110
22 May 2020- Page 3 of 4



Photo 3: Development Area Looking West

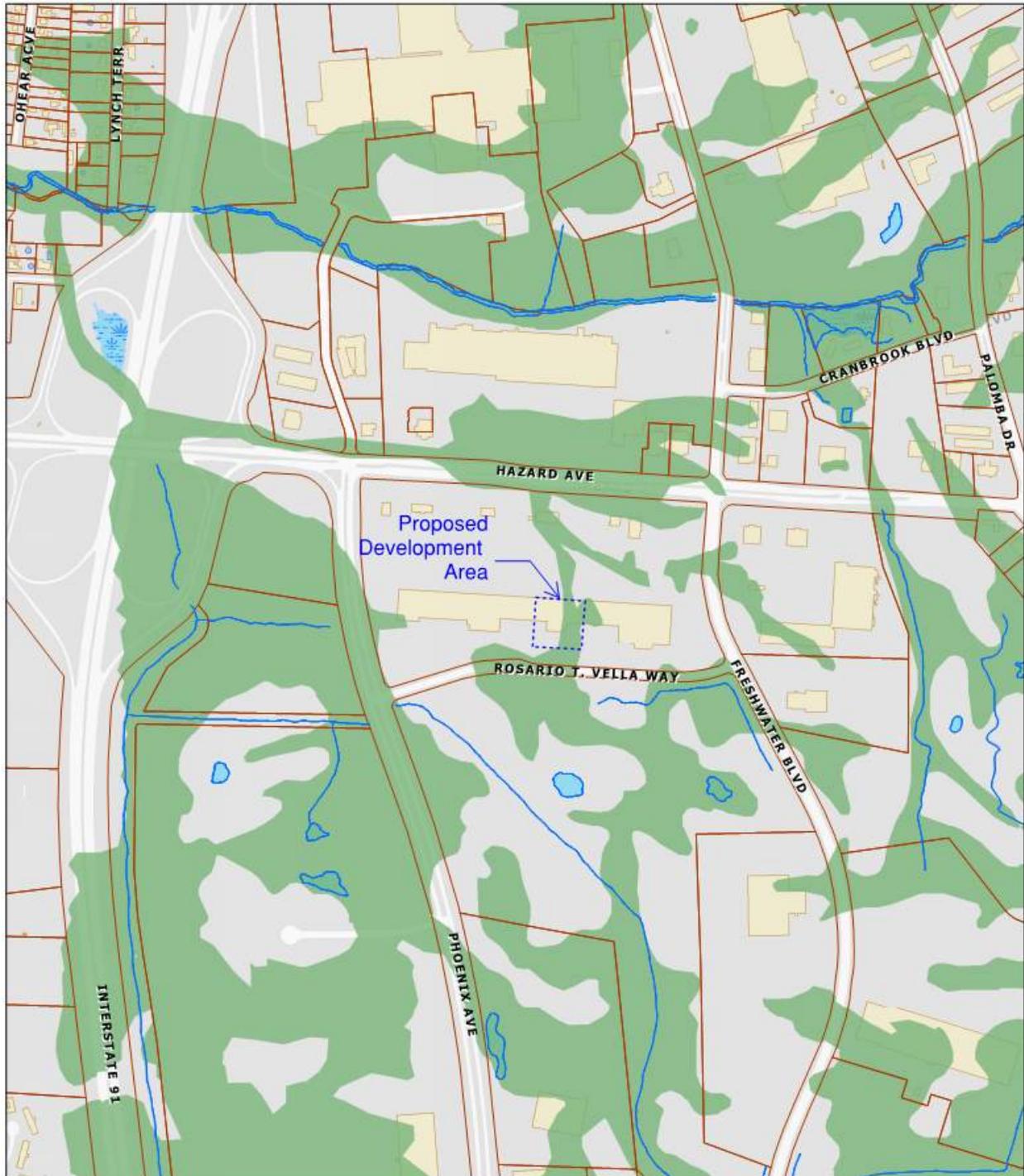


Photo 4: Development Area Looking East

[Type here]

MEMO

Wetlands Determination Request
Brookside Plaza Renovation – Burlington Coat Factory
Enfield, Connecticut
Langan Project No.: 140161110
22 May 2020- Page 4 of 4



50 Hazard Avenue

0 10 200 400 600 800 1,000 Feet
1 inch = 628 feet

Figure 1
10 Hazard Avenue
GIS Wetlands Mapping
Langan (2020-05-20)

[Type here]

555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142

To: Inland Wetlands & Watercourses Agency - Town of Enfield

From: David Gagnon – Langan
Nathan Kirschner - Langan

Cc'd: Michael Lai - Regency Centers

Date: 22 May 2020

Re: Project Narrative
Brookside Plaza Renovations (Burlington Coat Factory)
50 Hazard Avenue
Enfield, Connecticut 06082
Langan Project No.: 140161110

RECEIVED
ENFIELD PLANNING DEPT
2020 MAY 22 PM 2:32

General

This memorandum has been prepared in support of proposed renovations to Brookside Plaza, located at 50 Hazard Avenue in Enfield, Connecticut. The project proposes the re-tenanting of the Walgreens space to a Burlington Coat Factory with an expansion to the rear of the building and a relocated loading dock.

The subject property is bound by Hazard Avenue to the north, Freshwater Boulevard to the east, Rosario T Vella Avenue to the south, and Phoenix Avenue to the west. The subject property is ± 34 acres and is in the Business Regional (BR) District. The proposed use will remain retail. Through correspondence with town staff, it is understood that the proposed renovations will require a site plan modification. In addition, a submission to the Inland Wetlands & Watercourses agency is required for a wetlands determination.

The current development area is primarily paved surfaces servicing the back of house and loading areas behind the main retail strip.

Project Description

The project proposes the addition of $\pm 6,300$ square-feet of back-of-house space and a loading dock at the rear of the existing Walgreens and adjacent spaces. The project proposes minor utility and drainage modifications to accommodate the building improvements. The existing landscape islands in the loading area will be re-formed to allow for truck access. There is no net increase in impervious surface and the drainage patterns will be maintained to the extent feasible in the proposed condition. Additionally, there is no change proposed to the existing parking count.

Site alternates were reviewed prior to the submission of this application, including an 11,000 square-foot expansion with a new loading dock parallel to the building. It was determined the current application was the most efficient use of space and was the least impactful to the existing plaza.

If you have any questions, or if you need additional information, please feel free to contact David Gagnon or Nate Kirschner at (203) 562-5771.

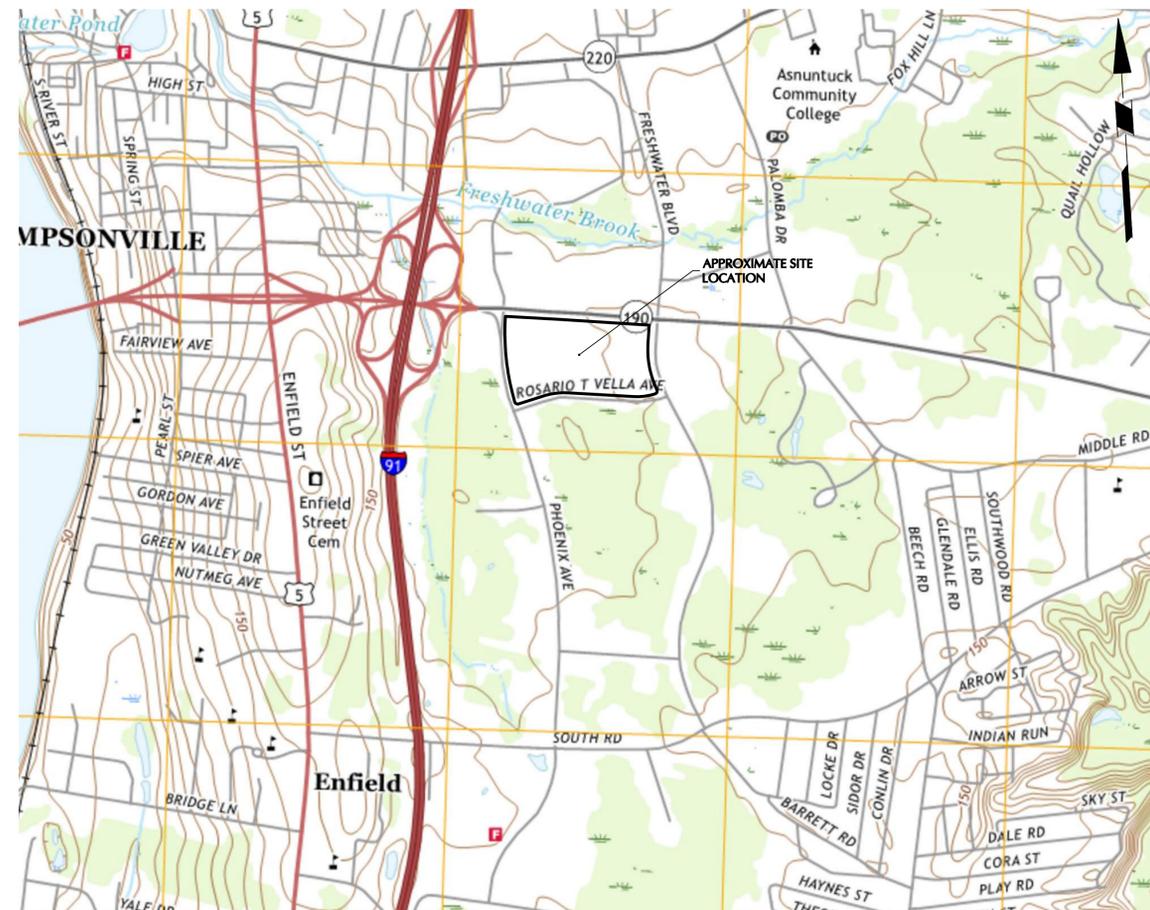
DPN#2020-05-22

INLAND WETLANDS & WATERCOURSES AGENCY DETERMINATION SUBMISSION BURLINGTON COAT FACTORY EXPANSION AT BROOKSIDE PLAZA

50 HAZARD AVENUE MAP 56, LOT 22 TOWN OF ENFIELD, HARTFORD COUNTY, CONNECTICUT

CIVIL DRAWING INDEX

SHEET NUMBER	SHEET NAME	DRAWING TITLE	DATE	LAST REVISED
1	CS001	COVER SHEET	5/22/2020	
2	VT401	PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY	5/11/2020	
3	CS002	GENERAL NOTES & MASTER LEGEND	5/22/2020	
4	CS100	OVERALL SITE PLAN	5/22/2020	
5	CS101	SITE PLAN	5/22/2020	
6	CS501	SITE DETAILS	5/22/2020	
7	CG101	GRADING, DRAINAGE, UTILITY, AND EROSION CONTROL PLAN	5/22/2020	
8	CG501	GRADING, DRAINAGE, UTILITY, AND EROSION CONTROL DETAILS I	5/22/2020	
9	CG502	GRADING, DRAINAGE, UTILITY, AND EROSION CONTROL DETAILS II	5/22/2020	



MAP REFERENCE: USGS BROAD BROOK QUADRANGLE MAP 2018 (7.5-MINUTE SERIES)

LOCATION MAP

SCALE: 1" = 1000'

ABUTTING PROPERTY OWNERS WITHIN 200'

MAP	LOT	PROPERTY OWNER	PROPERTY LOCATION
45	1	JPMCC 2006-LDP7 CENTRO 1601 WASHINGTON AVE, SUITE 700 MIAMI BEACH, FL 33139	9 HAZARD AVE
45	8	PARAMOUNT COMMONS AT ENFIELD LLC 1195 RT 70, SUITE 2000 LAKEWOOD, NJ 08701	25 HAZARD AVE
45	10	G+R PROPERTIES LLC 1111 ELM ST WEST SPRINGFIELD, MA 01089	7 HAZARD AVE
45	12	ENFIELD LODGING LLC PO BOX 480 BUFFALO, NY 14201	20 PHOENIX AVE
45	13	TOWN OF ENFIELD 820 ENFIELD ST ENFIELD, CT 06082	PHOENIX AVE
45	75	JPMCC 2006-LDP7 CENTRO 1601 WASHINGTON AVE, SUITE 700 MIAMI BEACH, FL 33139	94 ELM ST
46	35	TOWN OF ENFIELD 820 ENFIELD ST ENFIELD, CT 06082	SOUTH RD
56	1	GMRI INC PO BOX 695019 ORLANDO, FL 32869	41 HAZARD AVE
56	2	LEO BHW LTD LLC 2475 ALBANY AVE, SUITE 205 WEST HARTFORD, CT 06117	39 HAZARD AVE
56	4	FRESHWATER BOULEVARD RLTY LLC 2694 BOSTON RD WILBRAHAM, MA 01095	95 FRESHWATER BLVD
56	21	TOWN OF ENFIELD 820 ENFIELD ST ENFIELD, CT 06082	FRESHWATER BLVD
56	24	SKT FRESHWATER LLC 342 NORTH MAIN ST, SUITE 200 WEST HARTFORD, CT 06107	135 FRESHWATER BLVD
56	26	ENFIELD STATION LLC 11501 NORTH LAKE DR CINCINNATI, OH 45249	54 HAZARD AVE

OWNER/DEVELOPER
EQUITY ONE (NORTHEAST PORTFOLIO), LLC
C/O MICHAEL LAI
28 CHURCH LANE, SUITE 200
WESTPORT, CONNECTICUT 06880
(203) 635-5570

ARCHITECT
SARGENTI
8 PENN CENTER
1628 JFK BOULEVARD
PHILADELPHIA, PA 19103
(215) 482-1950

**LAND SURVEYOR, CIVIL ENGINEER,
& LANDSCAPE ARCHITECT**
LANGAN CT, INC.
C/O NATHAN KIRSCHNER
555 LONG WHARF DRIVE
NEW HAVEN, CT 06511
(203) 562-5771

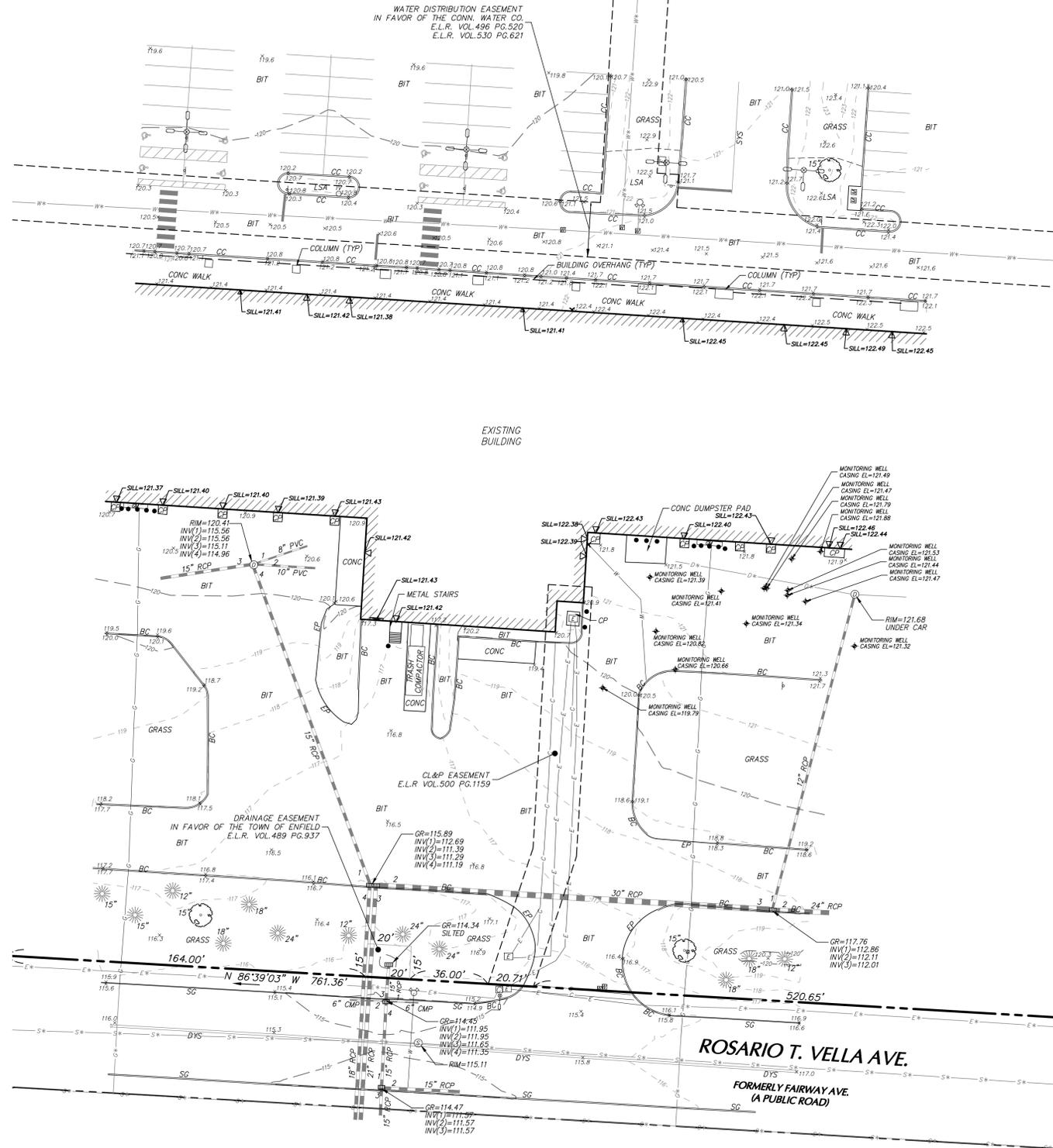
RELEASE DATES

DATE	ISSUED FOR
5/22/2020	IWWA DETERMINATION SUBMISSION

LANGAN

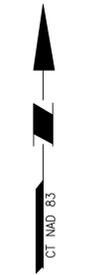
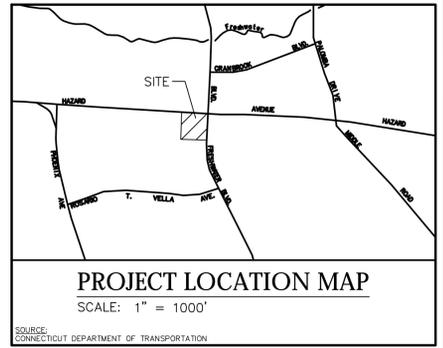
NOTES

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 - THIS SURVEY IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL ACCURACY OF A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO A T-2 ACCURACY. THE BOUNDARY DETERMINATION IS A RESURVEY. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BOUNDARY OPINION AND DEPICT SITE FEATURES FOR FUTURE SITE DEVELOPMENT.
- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
 - A. MAP TITLED "ALTA/ACSM LAND TITLE SURVEY, PROPERTY SURVEY, PREPARED FOR EQUITY ONE (NORTHEAST PORTFOLIO), INC., 10 HAZARD AVE. (CONN. ROUTE 190), ENFIELD, CONNECTICUT", SCALE: 1"=60', DATED: 06-22-15, LAST REVISED: 03-09-2016, BY: F.A. HESKETH & ASSOCIATES, INC
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 (EPOCH 2011). POSITION WAS DETERMINED BY GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) AS PROVIDED BY HXGN SMARTNET CONTINUOUSLY OPERATED REFERENCE STATIONS (CORS).
- ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOID 12B) AS DETERMINED BY GNSS
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN CT, INC. FIELD WORK COMPLETED DURING THE MONTH OF MAY 2020.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "HARTFORD COUNTY, CONNECTICUT PANEL 227 OF 675, MAP NUMBER 09003C0227F, EFFECTIVE DATE SEPTEMBER 26, 2008" THE PROJECT AREA IS IN ZONE X (UNSHADED).
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.



LEGEND (NOT SHOWN TO SCALE)

- BOLLARD
- △ DOOR
- ◻ DOUBLE DOOR
- ♿ HANDICAP SYMBOL
- ✉ MAILBOX
- MONITORING WELL
- ⊕ SIGN
- TREE
- ☀ CATCH BASIN
- CLEANOUT
- ELECTRIC BOX
- ⊕ ELECTRIC METER
- ⊕ FIRE HYDRANT
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ LIGHT POLE
- MANHOLE (TYPE AS LABELED)
- IRRIGATION VALVE
- POWER POLE
- ⊕ STANDPIPE
- ⊕ WATER VALVE
- ⊕ SPOT ELEVATION
- BIT BITUMINOUS
- CONC CONCRETE
- CP CONCRETE PAD
- LSA LANDSCAPED AREA
- BOH BUILDING OVERHANG
- BW BOTTOM OF WALL
- EP EDGE OF PAVEMENT
- BC BITUMINOUS CURB
- CC CONCRETE CURB
- GC GRANITE CURB
- SG SLOPED GRANITE CURB
- SYS SINGLE YELLOW STRIPE
- DYS DOUBLE YELLOW STRIPE
- EASEMENT LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- -322- CONTOUR LINE
- FM SANITARY FORCE MAIN
- CATV CABLE TV MARK OUT LINE
- D DRAINAGE MARK OUT LINE
- E ELECTRIC MARK OUT LINE
- T COMMUNICATION MARK OUT LINE
- G GAS MARK OUT LINE
- S SANITARY SEWER MARK OUT LINE
- W WATER MARK OUT LINE
- ST STEAM MARK OUT LINE
- UNK UNKNOWN MARK OUT LINE
- REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING



Date	Description	No.
REVISIONS		
"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."		
5/11/2020		
ANDREW G. IVES	DATE SIGNED	
PROFESSIONAL LAND SURVEYOR CT STATE LIC. NO. 70286		

LANGAN

Langan CT, Inc.
555 Long Wharf Drive
New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

Project

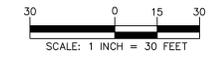
**BROOKSIDE PLAZA
10-38 HAZARD AVE.**

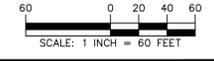
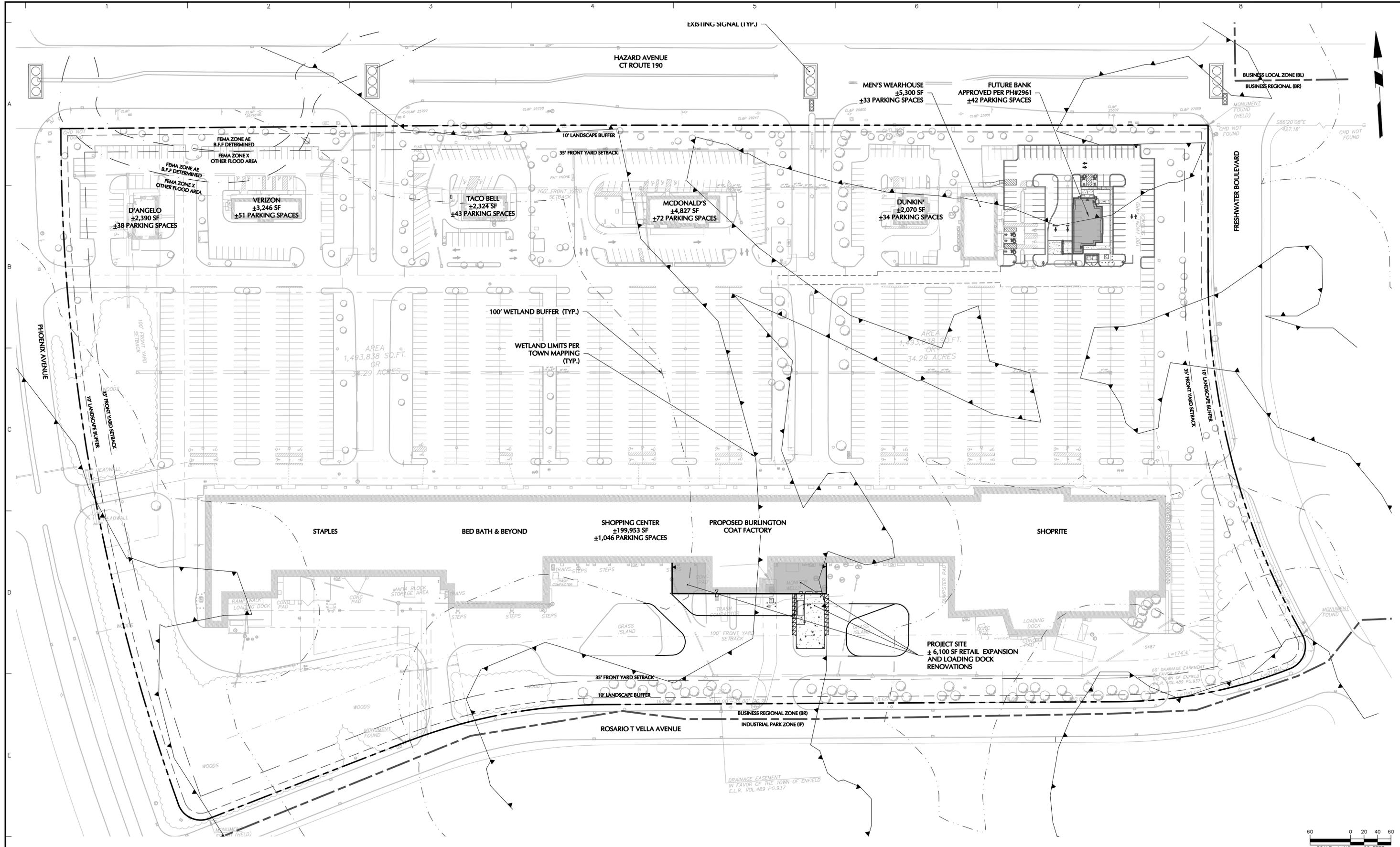
ENFIELD CONNECTICUT

Drawing Title

**PARTIAL
BOUNDARY &
TOPOGRAPHIC
SURVEY**

Project No.	Drawing No.
140161101	VT401
Date	
MAY 11, 2020	
Drawn By	
JRL	
Checked By	
AGI	Sheet 1 of 1





LANGAN

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555 Long Wharf Drive
New Haven, CT 06511

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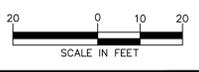
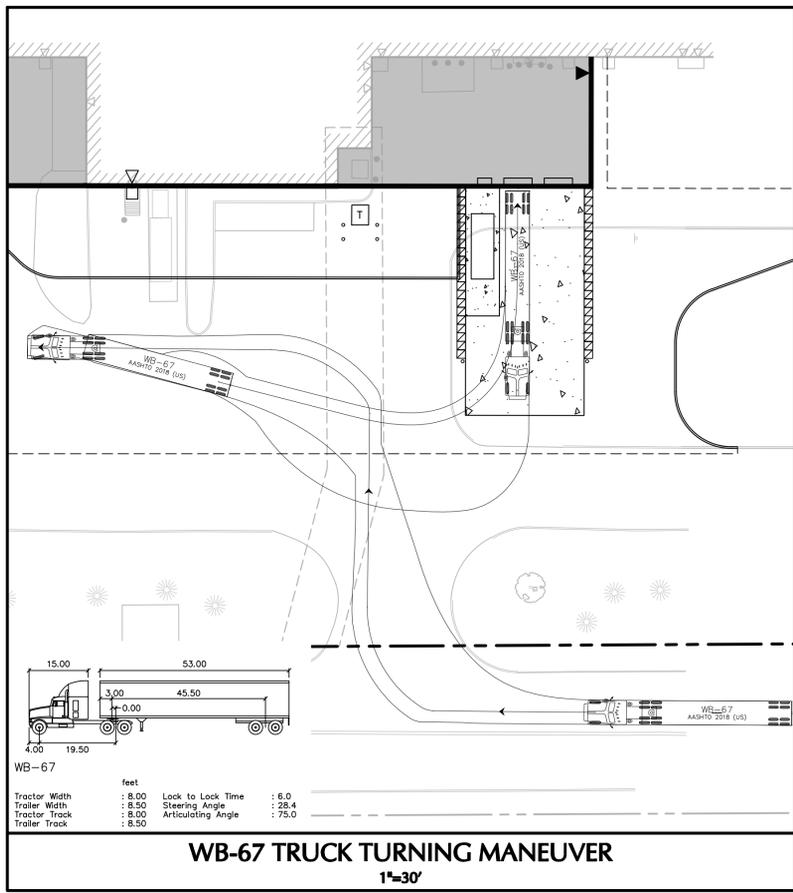
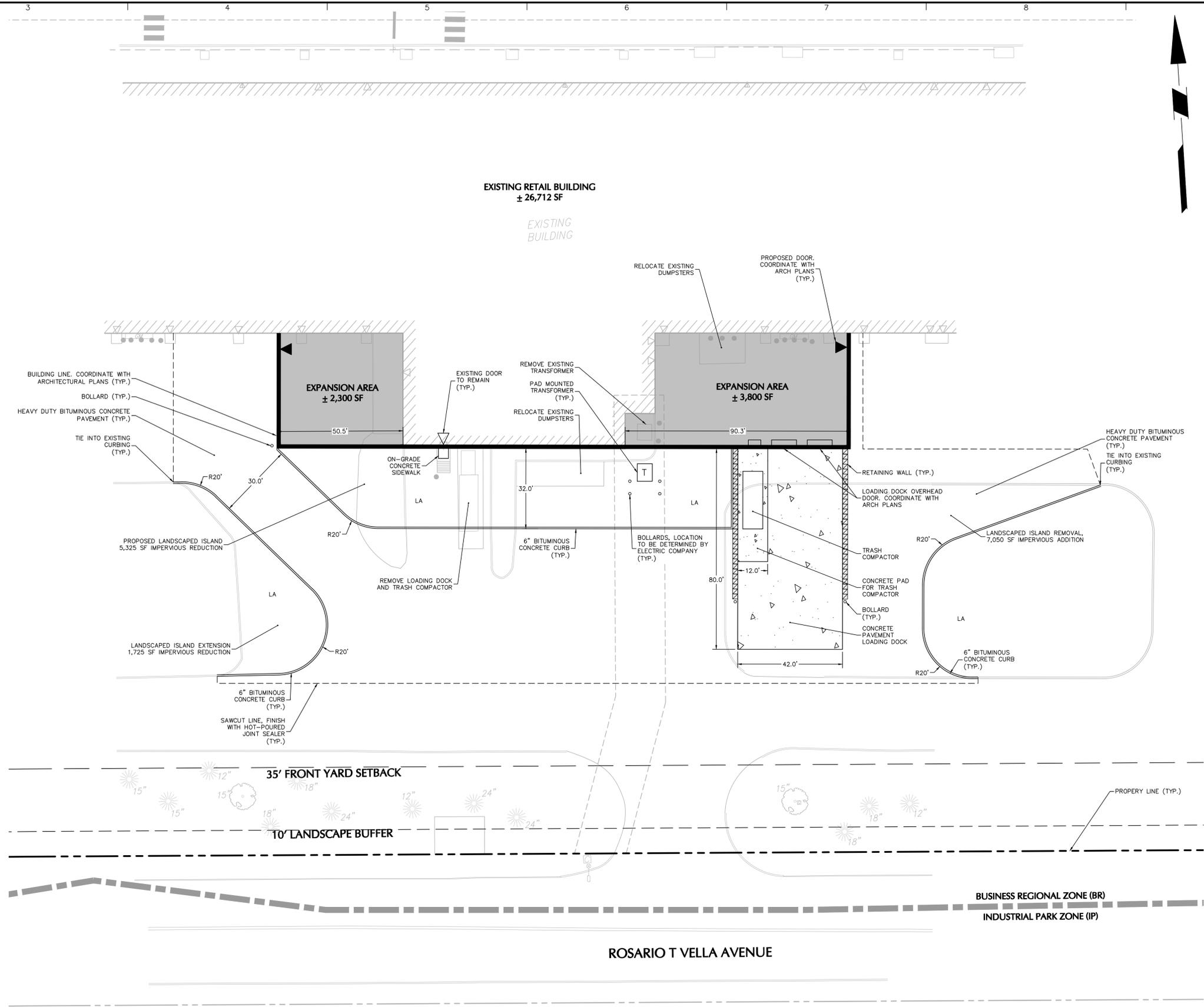
Project
**BURLINGTON COAT
FACTORY EXPANSION
AT BROOKSIDE PLAZA**
50 HAZARD AVENUE
CONNECTICUT

Drawing Title
OVERALL SITE PLAN

Project No. 140161101	Drawing No. CS100
Date 5/22/2020	
Drawn By IJAB	
Checked By TSO	Sheet 4 of 9

Date	Description	No.
REVISIONS		

LANGAN PROJECT NO. 140161101



Date	Description	No.
REVISIONS		



LANGAN

Langan CT, Inc.
555 Long Wharf Drive
New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

Project
**BURLINGTON COAT
FACTORY EXPANSION
AT BROOKSIDE PLAZA**
50 HAZARD AVENUE
CONNECTICUT

Drawing Title
SITE PLAN

Project No.
140161101

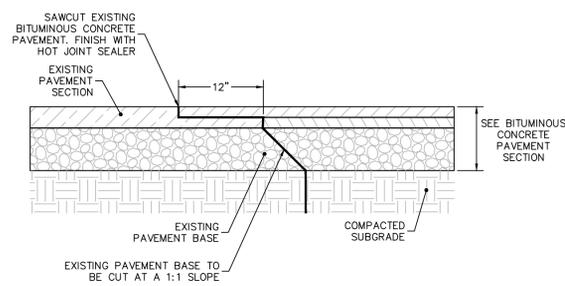
Date
5/22/2020

Drawn By
BP

Checked By
TSO

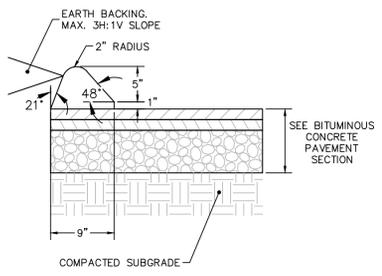
Drawing No.
CS101

Sheet 5 of 9



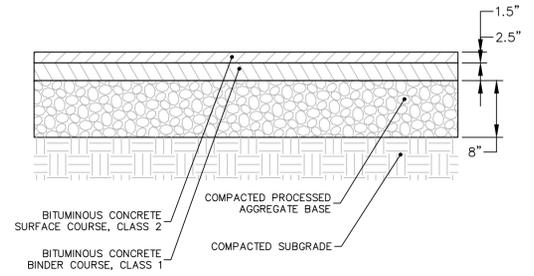
NOTES:
1. CONTRACTOR TO INSTALL TACK COAT ON ALL BUTT EDGES OF EXISTING PAVEMENT

1 SAWCUT PAVEMENT SECTION
N.T.S.



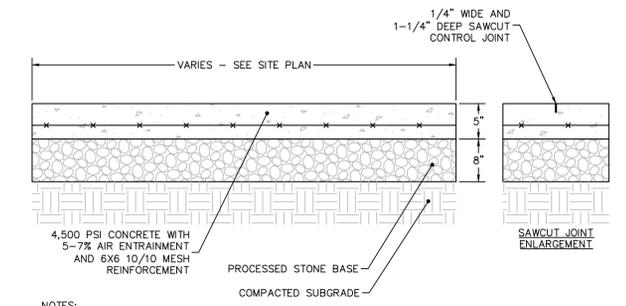
NOTES:
1. PROVIDE NOTCHED SEAT IN CURB AT LOCATIONS OF INTEGRAL BITUMINOUS CONCRETE SIDEWALK AND CURB

2 6" BITUMINOUS CONCRETE CURB
N.T.S.



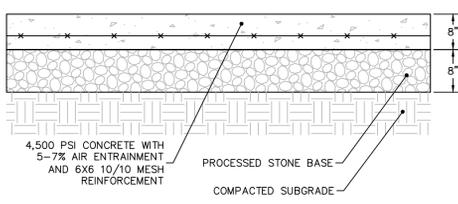
NOTES:
1. PROVIDE BITUMINOUS CONCRETE PAVEMENT AS INDICATED ON THE SITE PLAN.
2. BITUMINOUS CONCRETE SHALL CONFORM TO CT D.O.T. SPECIFICATIONS, FORM 817 SECTION 4.06, LATEST REVISION
3. PROCESSED AGGREGATE SHALL CONFORM TO CT D.O.T. SPECIFICATIONS, FORM 817 SECTION 3.04, LATEST REVISION

3 BITUMINOUS CONCRETE PAVEMENT SECTION - HEAVY DUTY
N.T.S.



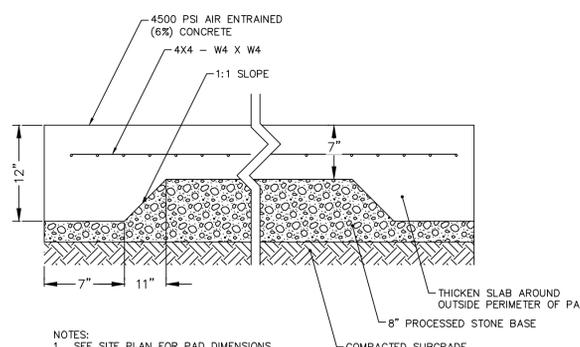
NOTES:
1. ALL CONTROL JOINTS TO BE SAWCUT, REFER TO ENLARGEMENT
2. SIDEWALKS TO COMPLY WITH CITY STANDARDS WHERE APPLICABLE.
3. EXPANSION AND CONTROL JOINTS SHALL BE INSTALLED PER LAYOUT AND DIMENSIONING PLANS. IF NOT SPECIFICALLY DETAILED MAXIMUM SPACING OF JOINTS SHALL BE AS FOLLOWS:
EXPANSION = 20 FT.
CONTROL = 5 FT.
4. CONTROL JOINTS SHALL BE SPACED EQUAL TO THE WIDTH BUT SHALL NOT EXCEED 6 FT. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
5. SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK.
6. CONTRACTOR TO PROVIDE 10'x10' MOCKUP SHOWING EXPANSION JOINTS, SAWCUT JOINTS, AND BROOM FINISH PRIOR TO INSTALLATION

4 ON-GRADE CONCRETE SIDEWALK
N.T.S.



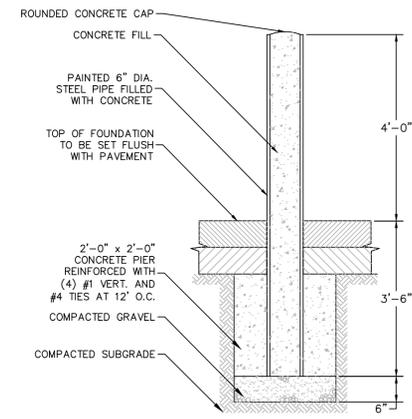
NOTES:
1. PRIOR TO ANY PAVING ACTIVITIES, THE SUBGRADE OR SUBBASE SHALL BE PROOF ROLLED.
2. PRIOR TO INSTALLATION OF PAVEMENT, THE SUBGRADE SHOULD BE SURFACE COMPACTED WITH A MINIMUM OF 4 PASSES WITH A VIBRATORY ROLLER HAVING A MINIMUM STATIC WEIGHT OF 10-TONS.
3. ANY SOFT AREAS SHALL BE REMOVED AND REPLACED WITH CLEAN, GRANULAR, FREE-DRAINING SOIL.
4. FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 12-INCHES AND SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
5. TRANSVERSE AND LONGITUDINAL CONTROL JOINTS SHALL BE SAW CUT AT 15 FT MAXIMUM SPACING.
6. DOWEL BARS SHALL BE PLACED AT ALL JOINTS.
7. SURFACE TEXTURE SHALL BE A MEDIUM BROOM FINISH.

4 CONCRETE PAVEMENT
N.T.S.



NOTES:
1. SEE SITE PLAN FOR PAD DIMENSIONS

4 CONCRETE PAD
N.T.S.



NOTES:
1. PAINT PRIME AND FINISH COATS TO BE COMPATIBLE WITH EXTERIOR METAL SURFACES. COLOR SHALL BE PROVIDED OWNER/ARCHITECT

5 BOLLARD
N.T.S.

Date	Description	No.
REVISIONS		



LANGAN

Langan CT, Inc.
555 Long Wharf Drive
New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

Project
**BURLINGTON COAT
FACTORY EXPANSION
AT BROOKSIDE PLAZA**

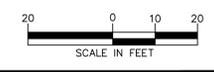
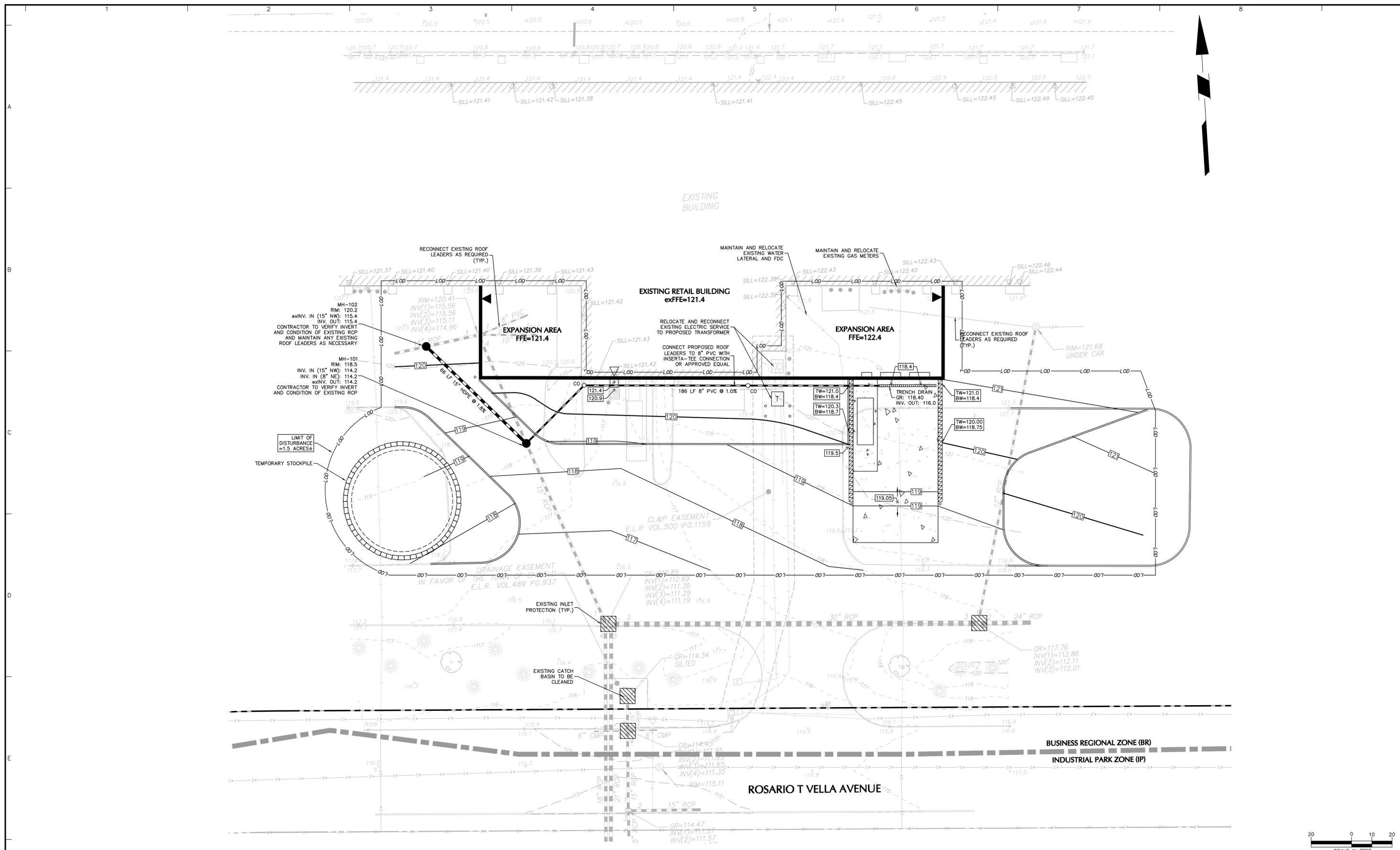
50 HAZARD AVENUE
CONNECTICUT

Drawing Title
SITE DETAILS

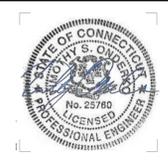
Project No.
140161101
Date
5/22/2020
Drawn By
BP
Checked By
TSO

Drawing No.
CS501

Sheet 6 of 9



Date	Description	No.
REVISIONS		



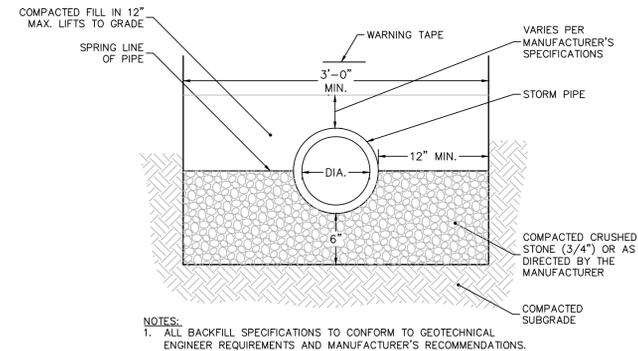
LANGAN
 Langan CT, Inc.
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Project
BURLINGTON COAT FACTORY EXPANSION AT BROOKSIDE PLAZA
 50 HAZARD AVENUE
 CONNECTICUT

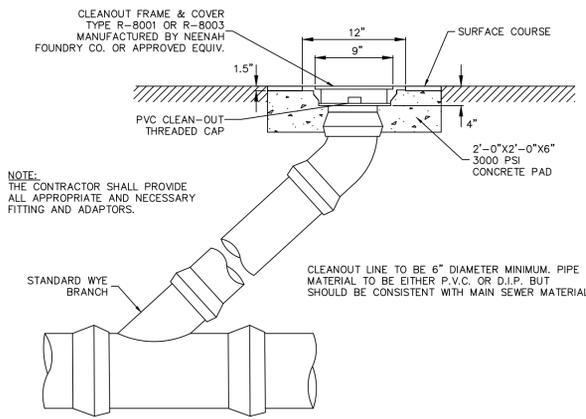
Drawing Title
GRADING, DRAINAGE, UTILITY, AND EROSION CONTROL PLAN

Project No.
140161101
 Date
5/22/2020
 Drawn By
BP
 Checked By
TSO

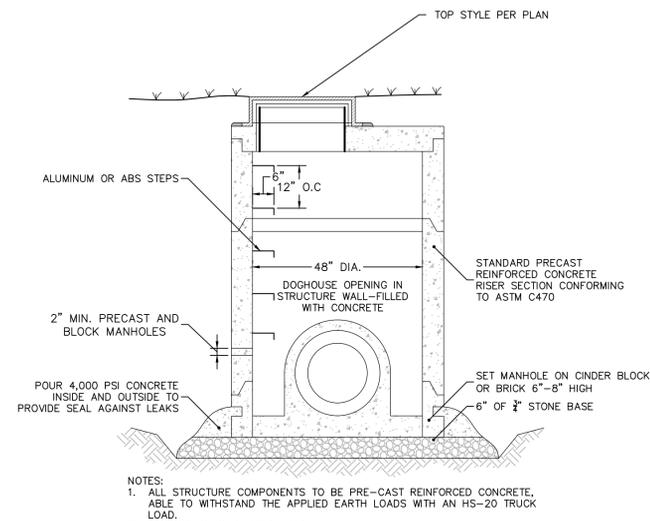
Drawing No.
CG101
 Sheet 7 of 9



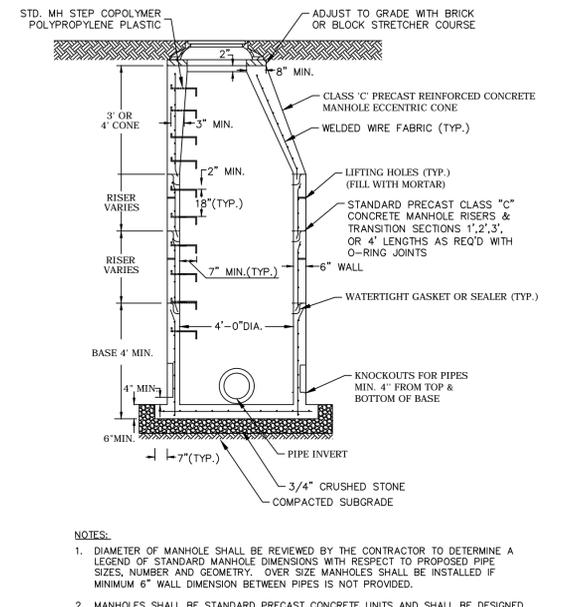
1 STORM PIPE BEDDING
N.T.S.



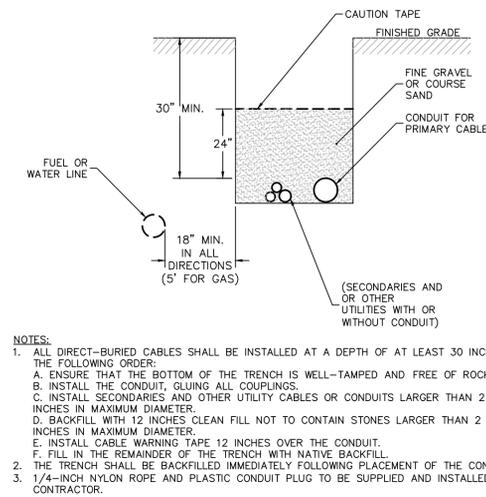
2 STORM CLEANOUT
N.T.S.



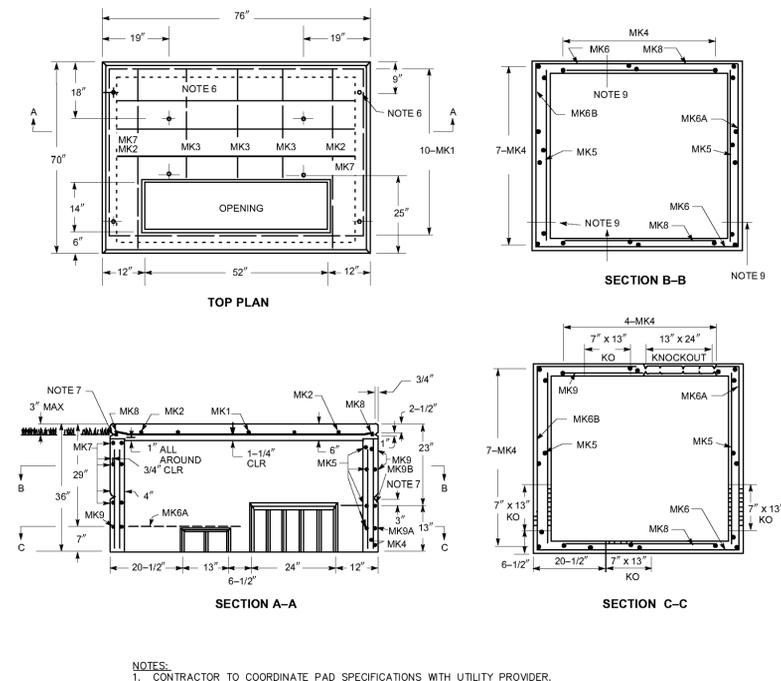
3 DOGHOUSE STRUCTURE
N.T.S.



4 STORM MANHOLE
N.T.S.



3 ELECTRICAL UTILITY TRENCH
N.T.S.



4 TRANSFORMER PAD
N.T.S.

Date	Description	No.
REVISIONS		



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Project
**BURLINGTON COAT
FACTORY EXPANSION
AT BROOKSIDE PLAZA**

50 HAZARD AVENUE
CONNECTICUT

Drawing Title
**GRADING, DRAINAGE,
UTILITY, AND EROSION
CONTROL DETAILS I**

Project No.
140161101
Date
5/22/2020
Drawn By
BP
Checked By
TSO

Drawing No.
CG501
Sheet **8** of **9**

SOIL EROSION-SEDIMENT CONTROL NOTES

PROPOSED DEVELOPMENT

- CONSTRUCTION WILL INCLUDE EARTHWORK, CURBING, PAVING, UTILITY INSTALLATION, LANDSCAPING AND BUILDING CONSTRUCTION. ALL DEMOLITION DEBRIS AND SOIL REMOVAL RELATED TO CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS GOVERNING SUCH ACTIVITIES.
- THE DETAILED EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN ON DRAWING CE101. THE PROPOSED MEASURES HAVE BEEN DESIGNED TO PREVENT THE MIGRATION OF SOIL SEDIMENT FROM THE SITE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING OF SOIL AND SEDIMENT CONTROL PRACTICES TO ENSURE SOIL AND SEDIMENT ARE PREVENTED FROM LEAVING THE DEVELOPMENT AREA THROUGHOUT DEMOLITION & CONSTRUCTION.
- THE SOIL AND SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY AND THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION AND THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION AND DISTURBANCE OF SITE CONTRIBUTORY DRAINAGE AREAS. THE OWNER OR ITS CONTRACTOR SHALL INSPECT, REPAIR AND REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES, AS INDICATED HEREIN. ALL EARTH CHANGES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.
- DISPOSAL OF COLLECTED SEDIMENT SHALL BE MADE TO AREA DESIGNATED BY THE OWNER'S SOIL ENGINEER.
- FILTER FABRIC/SILT FENCE WILL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING/LANDSCAPED AREAS SHALL BE REMOVED FROM THE SITE IMMEDIATELY, IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW. ALL TOPSOIL TO BE USED IN LANDSCAPED AREAS SHALL BE STORED/STOCKPILED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW STANDARDS.
- ALL AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- PAVEMENT BASE COURSE MUST BE PLACED IN ALL NEW ROADWAY AREAS UPON COMPLETION OF FINE GRADING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PAVED ROADWAYS, ON AND OFF-SITE, WHICH MUST BE KEPT FREE OF SITE GENERATED SEDIMENT AT ALL TIMES. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHOD.
- ALL STORM DRAINAGE OUTLETS MUST BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- SILT FENCES AND BARRIERS MUST BE CLEANED OR REPLACED PERIODICALLY TO REMOVE BUILT-UP SILT.
- SEDIMENT TRAPS MUST BE CLEANED WHEN CAPACITY HAS BEEN REDUCED BY AN AVERAGE OF 2'-0" OVER ITS TOTAL AREA OR TO 70% OF ITS DESIGN VOLUMES, WHICHEVER OCCURS FIRST.
- ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR

- FROM THE EARTH CHANGE AREA SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.
- THE CONTRACTOR SHALL CORRECT ANY OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- SOIL EROSION AND SEDIMENT CONTROLS MUST BE INSPECTED BY THE ZONING ENFORCEMENT OFFICER BEFORE WORK MAY COMMENCE.
- THE PROPERTY OWNER AND/OR HIS/HER AGENTS MUST MAINTAIN (REPAIR/REPLACE), WHEN NECESSARY, THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

TEMPORARY STABILIZATION

SEDIMENT DISPOSAL AREAS AND TOPSOIL STOCKPILES NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN THIRTY (30) DAYS OF DISTURBANCE SHALL BE STABILIZED AS FOLLOWS:

- SOIL AMENDMENTS AS NECESSARY.
- ANNUAL RYE GRASS SEEDING APPLIED AT A RATE OF NOT LESS THAN 1 LB. PER 1,000 SF.
- MULCH ALL NEWLY SEEDED AREAS WITHIN 80 LBS. OF SALT HAY OR SMALL GRAIN STRAW PER 1,000 SF.
- WHEN DISTURBED AREAS ARE SCHEDULED FOR IMMEDIATE LANDSCAPING THEY MAY BE MULCHED AND SEEDED PER ITEM C ABOVE.

PERMANENT STABILIZATION

REFER TO PLANS FOR PERMANENT STABILIZATION METHODS + PROPOSED SEED MIXES.

- PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL DISTURBED LAND AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. AMEND SOIL AS NEEDED PRIOR TO PERMANENT SEEDING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER COMPLETION OF AN EARTH CHANGE OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. ALL DISTURBED AREAS, STOCKPILES OF FILL OR EXCAVATED MATERIAL SHALL BE STABILIZED IN SUCH A MANNER AS NOT TO CAUSE UNREASONABLE HAZARD TO PERSONS OR PROPERTY.
- MATERIALS SPECIFICATION: LAWN + MEADOW AREAS
 - ANY SOIL HAVING A pH OF FOUR OR LESS CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE INCHES OF SOIL HAVING A pH OF FIVE OR MORE PRIOR TO SEED BED PREPARATION.
 - MULCHING SHALL BE DONE AT THE RATE OF SEVENTY TO NINETY POUNDS (70-90 LBS) PER 1,000 SQUARE FEET WITH UNROTTED SALT HAY.
 - LIQUID MULCH BINDERS MUST BE USED TO ANCHOR SALT HAY, HAY OR STRAY MULCHES.
 - APPLICATIONS SHOULD BE HEAVY AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CREATED BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

- USE ONE OF THE FOLLOWING: SYNTHETIC OR ORGANIC BINDERS. BINDERS SUCH AS CURASOL DCA-70, PETRO SET, TERRA TACH, HYDRO MULCH AND AEROSPRAY MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER OF ANCHOR MULCH MATERIALS. BINDERS CONTAINING PETROLEUM PRODUCTS SHALL NOT BE USED.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE TO THE EXCLUSION OF OTHER PRODUCTS.

- FILL MATERIAL SHALL BE FREE FROM DEBRIS, PERISHABLE OR COMBUSTIBLE MATERIAL AND FROZEN OR WET EARTH OR STONES LARGER THAN THREE INCHES IN MAXIMUM DIMENSION.

- CONSTRUCTION AREAS SHALL BE PERIODICALLY SPRAYED WITH WATER UNTIL THE SURFACE IS WET TO CONTROL THE GENERATION OF DUST.

- ALL REVISIONS AFTER APPROVAL HAS BEEN GRANTED SHALL BE FORWARDED TO THE APPROPRIATE DISTRICT FOR REVIEW.

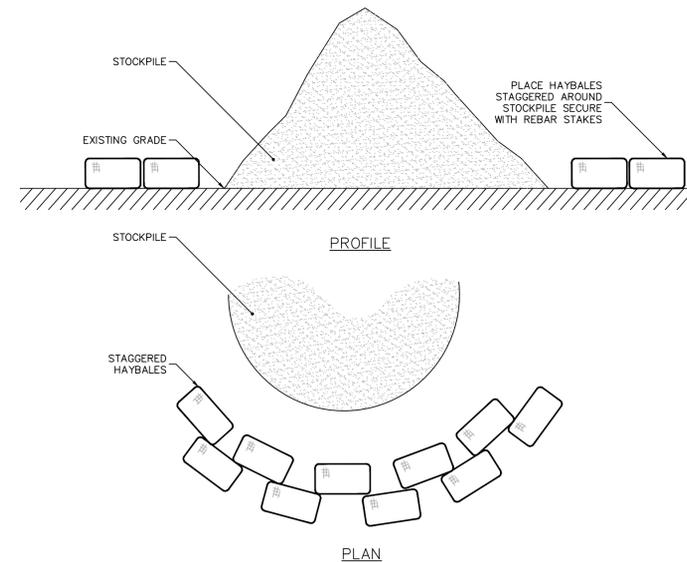
- THE LOCAL GOVERNING AUTHORITY SHALL RECEIVE WRITTEN NOTIFICATION SEVENTY TWO HOURS BEFORE THE START OF ANY CONSTRUCTION.

- SEEDBED PREPARATION:
 - TOPSOIL SHOULD BE A MINIMUM OF SIX INCHES DEEP (LIGHTLY COMPACTED) BEFORE SEEDING.
 - TOPSOIL SHALL BE TESTED PRIOR TO SEEDING.

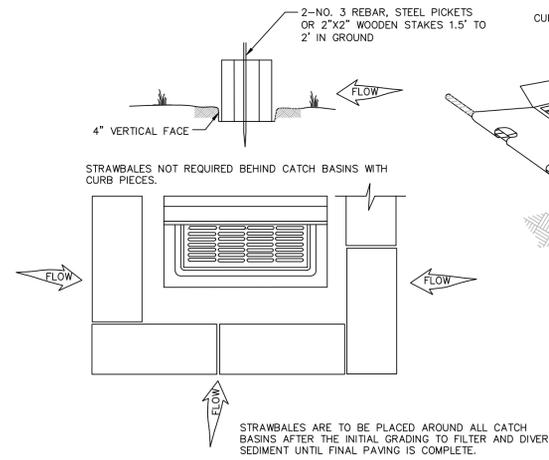
- WORK SOIL AMENDMENTS INTO SOIL AS NECESSARY AS PRACTICAL TO A DEPTH OF FOUR INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE ALL CLAY OR SILTY SOIL AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEED BED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES ONE INCH OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, GLDS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEED BED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACT, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

CONTINGENCY SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

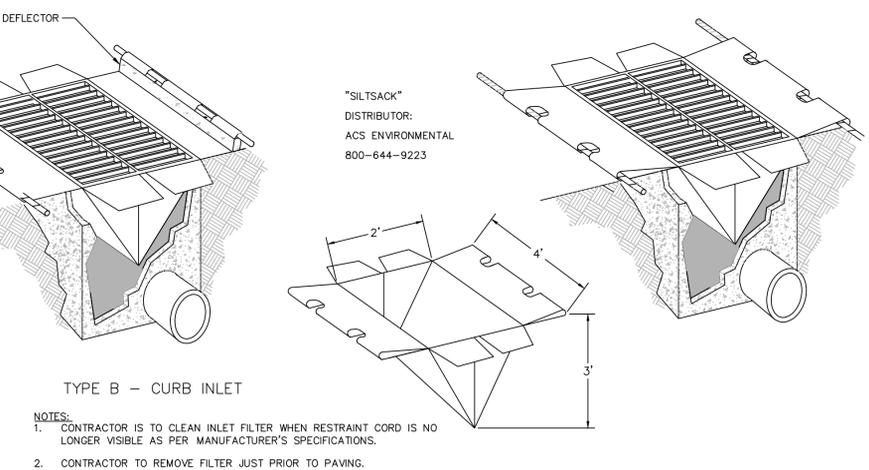
- THE GENERAL CONTRACTOR WILL DESIGNATE PERSONNEL FOR 24 HOUR EMERGENCY RESPONSE IN THE EVENT OF SEVERE WEATHER AND INCREASED POTENTIAL FOR SEVERE EROSION.
- THE GENERAL CONTRACTOR IS REQUIRED TO MAINTAIN ON SITE OR HAVE THE ABILITY TO RETRIEVE WITHIN 12 HOURS THE FOLLOWING MATERIALS IN THE EVENT THAT THERE ARE DEFICIENCIES IN THE SECS MEASURES:
 - 25% OF THE INSTALLED LENGTH OF SILT FENCE.
 - EQUIVALENT TONNAGE OF STONE FOR STABILIZATION OF 2 STABILIZATION ENTRANCES. STONE COULD BE USED FOR SLOPE REPAIRS, ENERGY DISSIPATER ENHANCEMENTS, ETC.
 - HEAVY EQUIPMENT CAPABLE OF TRENCHING/EXCAVATING LARGE AREAS TO DIVERT AND CONTROL RUNOFF IN A CONTROLLED MANNER.
 - HAVE DESIGNATED A HYDRO-SEED CONTRACTOR CAPABLE OF RESPONDING TO THE SITE WITHIN 12 HOURS.
- ANY STUMP GRINDINGS OR WOOD CHIPS GENERATED ON-SITE SHOULD BE RETAINED FOR USE TO BACK UP SILT FENCES.



1 **TEMPORARY STOCKPILE**
N.T.S



2 **INLET PROTECTION**
N.T.S



INLET PROTECTION
N.T.S



LANGAN
Langan CT, Inc.
555 Long Wharf Drive
New Haven, CT 06511
T: 203.562.5771 F: 203.789.6142 www.langan.com

Project
**BURLINGTON COAT
FACTORY EXPANSION
AT BROOKSIDE PLAZA**
50 HAZARD AVENUE
CONNECTICUT

Drawing Title
**GRADING, DRAINAGE,
UTILITY, AND EROSION
CONTROL DETAILS II**

Project No.
140161101
Date
5/22/2020
Drawn By
BP
Checked By
TSO
Drawing No.
CG502
Sheet **g** of **9**

Date	Description	No.
REVISIONS		

Langan CT, Inc.**555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142**

To: Town of Enfield Planning and Zoning Commission

From: Langan
Nathan Kirschner
Brian Phillips, P.E.

Date: 22 May 2020

Re: Stormwater Management Memo
Burlington Coat Factory Expansion at Brookside Plaza
50 Hazard Avenue
Enfield, Connecticut
Langan Project Number: 140161110

This memorandum addresses stormwater management design for the proposed Burlington Coat Factory Expansion at Brookside Plaza located on 50 Hazard Avenue (Route 190) in Enfield, Connecticut. Brookside Plaza totals about ± 34.3 acres, however, this analysis is restricted to the project limit of disturbance of development or about ± 1.5 acres.

The proposed project includes the construction of a single story $\pm 3,100$ square-foot building expansion with associated utility infrastructure, drainage, landscaping, loading dock and drive-way revisions necessary to incorporate the expansion into the existing loading area. The development will occur within the existing Brookside Plaza loading area and will result in a net reduction in impervious surfaces.

The Brookside Plaza property is located in the Freshwater Brook Subregional Drainage Basin. Under existing conditions, site drainage within the project limits flows overland and is captured by a series of catch basins which ultimately discharge to a town-owned storm drainage network.

In the proposed condition, drainage patterns have been largely maintained and the existing drainage network has been utilized. The project has been designed to allow for a zero net increase of impervious surfaces by replacing paved areas with landscape islands, maintaining groundwater recharge, water quality, and runoff rates.

The proposed stormwater management system has been designed to maintain existing flow patterns and utilize the existing stormwater conveyance system on-site. The development will maintain peak flow rates, water quality, ground water recharge, and previous surfaces. We believe that the proposed stormwater system, as designed, will effectively manage stormwater runoff.

AFTER RECORDING RETURN TO:

William S. Wilson, Esq.
 Greenberg Traurig, LLP
 One International Place
 Boston, MA 02110

SPECIAL WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS:

01/17/2006 \$285,000.00 State Conveyance Tax Received
 \$71,250.00 Town Conveyance Tax Received
John Blane

THAT, GATEWAY CONNECTICUT PROPERTIES, INC., a California corporation ("Grantor"), for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration in hand paid to Grantor by EQUITY ONE (BROOKSIDE) LLC, a Massachusetts limited liability company ("Grantee"), whose mailing address is 1600 N.E. Miami Gardens Drive, North Miami Beach, FL 33179, the receipt and sufficiency of such consideration being hereby acknowledged, has GRANTED, SOLD AND CONVEYED, and by these presents does hereby GIVE, GRANT, SELL, BARGAIN AND CONVEY unto Grantee that certain real property being more particularly described in Exhibit A attached hereto and made a part hereof for all purposes, together with all improvements, structures and fixtures situated thereon (collectively, the "Property"); subject, however, to those matters more particularly described in Exhibit B attached hereto and made a part hereof for all purposes (collectively, the "Permitted Exceptions").

TO HAVE AND TO HOLD the Property, together with all and singular the rights, and appurtenances thereto in anywise belonging, unto Grantee, its successors and assigns forever, subject to the Permitted Exceptions; and Grantor does, for itself, its successors and assigns, covenant with Grantee and its successors and assigns, that the Property is free from all encumbrances made or suffered by Grantee, except for the Permitted Exceptions; and Grantor does hereby bind itself and its successors to WARRANT AND FOREVER DEFEND all and singular the Property, subject to the Permitted Exceptions, unto Grantee, its successors and assigns, against the claims and demands made or suffered by Grantor, except as aforesaid, but not otherwise.

[SIGNATURE PAGE TO FOLLOW]

12th IN WITNESS WHEREOF, this instrument has been executed under seal as of this day of January, 2006.

GRANTOR:

GATEWAY CONNECTICUT PROPERTIES, INC., a California corporation

By: *Earl W. Buehner*
Name: EARL W. BUEHNER
Title: VICE PRESIDENT, ASST. SECRETARY & ASST. TREASURER

STATE OF CALIFORNIA)
) ss.
COUNTY OF LOS ANGELES)

On January 11, 2006, before me, the undersigned, Notary Public in and for said State and County, personally appeared Earl W. Buehner, personally known to me (~~or proved to me on the basis of satisfactory evidence~~) to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(~~ies~~), and that by his/~~her/their~~ signature(~~s~~) on the instrument the person(s), or the entity(~~ies~~) upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Shirley T. Sarkisian
Notary Public



EXHIBIT A**LEGAL DESCRIPTION**

All that certain piece or parcel of land, with the improvements thereon and appurtenances thereto, situated in the Town of Enfield, County of Hartford and State of Connecticut, shown on a certain map or plan entitled "Enfield Development Agency Plan of Development", Enfield Memorial Industrial Park, Enfield, Connecticut dated March, 1974, revised June 12, 1981, November 12, 1981, August 30, 1982, November 2, 1982, and October 28, 1983, Scale 1" = 100', Sheet 6 of 7, which map is on file in the Enfield Town Clerk's Office, said parcel being more particularly bounded and described as follows:

Beginning at a concrete monument marking the intersection of the east street line of Phoenix Avenue and the south street line of Hazard Avenue, said monument also marking the northwest corner of the property herein described; thence S 86° 47' 28" E, a distance of 628.97 feet and S 86° 20' 08" E, a distance of 1,070.20 feet along the south street line of Hazard Avenue to a concrete monument marking the intersection with the west street line of Freshwater Boulevard; thence along the west street line of Freshwater Boulevard S 3° 39' 52" W, a distance of 219.77 feet to a concrete monument marking a point of curvature to the left, a central angle of 29° 27' 32.8", a radius of 1,080.00 feet and a length of arc of 555.29 feet to a concrete monument marking a return curve to the right, a central angle of 98° 07' 31", a radius of 35.00 feet and a length of arc of 59.94 feet to a concrete monument marking a point of compound curve to the right along the north street line of Fairway Road, a central angle of 21° 00' 57.8", a radius of 713.92 feet and a length of arc of 261.86 feet to a concrete monument marking the point of tangency; thence continuing along the north street line N 86° 39' 03.4" W, a distance of 761.36 feet to a concrete monument marking a point of curve to the left, a central angle of 20° 50' 35.5", a radius of 830.00 feet and a length of arc of 301.94 feet to a concrete monument marking a point of tangency; thence S 72° 30' 21.1" W, a distance of 310.13 feet to a concrete monument marking a return curve to the right with Phoenix Avenue, a central angle of 91° 17' 20", a radius of 35.00 feet and a length of arc of 55.76 feet to a concrete monument marking a point of compound curve in the east street line of Phoenix Avenue; thence continuing in the east street line of Phoenix Avenue on a curve to the right, a central angle of 19° 54' 17", a radius of 2,925.00 feet and a length of arc of 1,016.16 feet to the point or place of beginning.

EXHIBIT B**PERMITTED EXCEPTIONS**

1. Real estate taxes and all general and special assessments for 2006 and subsequent calendar years.
2. Rights of tenants under written leases.
3. Local, state and federal laws, ordinances or governmental regulations, including, but not limited to, building and zoning laws, ordinances and regulations, now or hereafter in effect relating to the Property.
4. Matters which would be disclosed by that certain Survey dated December 8, 2005 prepared by Daylor Consulting Group Inc. titled "#10, 28 and 38 Hazard Avenue, Brookside Plaza in Enfield, Connecticut."
5. Sanitary sewer, drainage easements, covenants, and agreements set forth in a Special Warranty Deed from the Town of Enfield and the Enfield Development Agency to Richard D. Bronson and Allan Hutensky dated July 10, 1984 and recorded in Volume 489 at Page 937 of the Enfield Land Records; as affected by a Partial Release of Sanitary Sewer Easement dated July 8, 1986 and recorded in Volume 523 at Page 435 of the said Land Records; as further affected by a Certificate of Occupancy issued by the Enfield Development Agency dated March 25, 1987 and recorded in Volume 542 at Page 507 of the said Land Records.
6. Terms and provisions of a Lease wherein Richard D. Bronson and Allan Hutensky are the Landlord and First National Supermarkets, Inc. is the Tenant, a Notice of which is dated November 28, 1984 and recorded in Volume 495 at Page 44 of the Enfield Land Records; amended by virtue of a First Amendment to Lease dated January 25, 1985 and recorded in Volume 496 at Page 467 of the said Land Records; as affected by a Commencement Date Agreement dated October 3, 1985 and recorded in Volume 507 at Page 779 of the said Land Records; as assigned to, and assumed by, Shaw's Supermarkets, Inc. by virtue of an Assignment of Lease and Assumption Agreement dated October 8, 1986 and recorded in Volume 1011 at Page 316 of said Land Records.
7. Terms and provisions of a Lease wherein Richard D. Bronson and Allan Hutensky are the Landlord and the Stop & Shop Companies, Inc. is the Tenant, a Notice of which is dated December 4, 1984 and recorded in Volume 496 at Page 1 of the Enfield Land Records; as affected by a Commencement Date Agreement dated February 14, 1986 and recorded in Volume 513 at Page 611 of the said Land Records.
8. Water Main Easement in favor of The Connecticut Water Company dated November 13, 1984 and recorded in Volume 496 at Page 250 of the Enfield Land Records.
9. Easement in favor of The Connecticut Light and Power Company dated May 24, 1985 and recorded in Volume 500 at Page 1159 of the Enfield Land Records.

10. Terms and provisions of a Lease wherein Richard D. Bronson and Allan Hutensky are the Lessors and McDonald's Corporation is the Lessee, a Memorandum of which is dated July 10, 1985 and recorded in Volume 503 at Page 65 of the Enfield Land Records; as affected by a Covenant Not to Compete dated July 18, 1985 and recorded in Volume 503 at Page 75 of the said Land Records.
11. Terms and provisions of a Lease wherein Richard D. Bronson and Allan Hutensky are the Lessors and Dunkin' Donuts of Connecticut, Inc. is the Lessee, a Notice of which is dated December 10, 1985 and recorded in Volume 514 at Page 650 of the Enfield Land Records.
12. Easement in favor of The Connecticut Light and Power Company dated March 27, 1986 and recorded in Volume 515 at Page 635 of the Enfield Land Records.
13. Terms and provisions of a Lease wherein Richard D. Bronson and Allan Hutensky, d/b/a Bronson & Hutensky, are the Landlord and Marshalls of Enfield, CT., Inc. is the Tenant, a Notice of which is dated April 21, 1986 and recorded in Volume 517 at Page 25 of the Enfield Land Records.
14. Water Main Easement in favor of The Connecticut Water Company dated August 22, 1986 and recorded in Volume 530 at Page 621 of the Enfield Land Records.
15. Terms and provisions of a Lease wherein Richard D. Bronson and Allan Hutensky are the Landlord and D'Angelo Inc. is the Tenant recorded on November 24, 1986 in Volume 532 at Page 867 of the Enfield Land Records. See also Notice of Lease dated December 30, 1986 and recorded in Volume 538 at Page 129 of the said Land Records. See also Assignment of Lease from D'Angelo Inc. to Delops, Inc. dated December 1, 1993 and recorded in Volume 833 at Page 2 of the said Land Records.
16. Easement in favor of The Connecticut Light and Power Company dated November 25, 1986 and recorded in Volume 533 at Page 357 of the Enfield Land Records.
17. Water Main Easement in favor of The Connecticut Water Company dated February 19, 1987 and recorded in Volume 542 at Page 1013 of the Enfield Land Records.
18. Terms and provisions of a Lease wherein Brookside Associates is the Landlord and Taco Bell Corp. is the Tenant, a Memorandum of which is dated September 2, 1987 and recorded in Volume 558 at Page 1114 of the Enfield Land Records; as affected by a Subordination, Non-Disturbance and Attornment Agreement by and between Maine State Retirement System and Taco Bell Corp. dated June 1, 1987 and recorded in Volume 558 at Page 1109 of the said Land Records.
19. Terms and provisions of a Lease wherein Brookside Associates is the Landlord and Springfield Food Systems, Inc. is the Tenant, a Notice of which is dated February 1, 1988 and recorded in Volume 568 at Page 851 of the Enfield Land Records. Said leasehold interest is affected by the following:

- a) Contingent Assignment of Lease by and between Springfield Food System, Inc. and KFC Corporation dated July 15, 1987 and recorded in Volume 568 at Page 880 of the said Land Records;
- b) Open-End Leasehold Mortgage Deed, Assignment of Rents, Security Agreement and Fixture Filing from Springfield Food System, Inc. to CBL Capital Corporation dated April 5, 1994 and recorded in Volume 858 at Page 1 of the said Land Records; assigned to Citicorp Leasing, Inc. by virtue of an Assignment of Open-End Leasehold Mortgage Deed, Assignment of Rents, Security Agreement and Fixture Filing dated July 21, 1998 and recorded in Volume 1138 at Page 241 of the said Land Records; modified by virtue of a Modification of Open-End Leasehold Mortgage Deed, Assignment of Rents, Security Agreement and Fixture Filing dated July 20, 1998 and recorded in Volume 1138 at Page 246 of the said Land Records; further modified by virtue of a Modification of Open-End Leasehold Mortgage Deed, Assignment of Rents, Security Agreement and Fixture Filing dated September 11, 2002 and recorded in Volume 1574 at Page 29 of the said Land Records; further modified by virtue of a Third Modification of Open-End Leasehold Mortgage Deed, Assignment of Rents, Security Agreement and Fixture Filing dated April 20, 2005 and recorded in Volume 2038 at Page 30 of the said Land Records;
- c) UCC Financing Statement wherein Springfield Food System, Inc. is the Debtor and CBL Capital Corporation is the Secured Party recorded on April 11, 1994 in Volume 858 at Page 30 of the Enfield Land Records; continued by virtue of a UCC Continuation recorded on February 1, 1999 in Volume 1183 at Page 215 of the said Land Records; as further continued by virtue of a UCC Financing Statement Amendment recorded on April 5, 2004 in Volume 1844 at Page 312 of the said Land Records.

20. Letter of Understanding Between Pizza Hut of America, Inc. and Brookside Associates dated December 21, 1989 and recorded in Volume 607 at Page 579 of the Enfield Land Records. See also Assignment and Assumption of Lease Agreement by and between Pizza Hut of America, Inc. and Mita Enterprises, LLC dated March 3, 1999 and recorded in Volume 1198 at Page 342 of the said Land Records. See also Financing Statement wherein Mita Enterprises, LLC is the Debtor and Tricon Capital Corp. is the Secured Party (assigned within the document to Chase Bank of Texas, National Association, as Collateral Agent) recorded in Volume 1199 at Page 1 of the said Land Records; as continued by virtue of a UCC Financing Statement Amendment recorded on October 15, 2003 in Volume 1771 at Page 196 of the said Land Records; as amended by virtue of a UCC Financing Statement Amendment recorded on November 25, 2003 in Volume 1792 at Page 329 of the said Land Records.

21. Terms and provisions set forth in Standard Agreement for Construction and Installation of Public Improvements and Utilities and Related Improvements by and between the Town of Enfield and Brookside Plaza Associates recorded in Volume 614 at Page 334 of the Enfield Land Records.

22. Electric Distribution Easement in favor of The Connecticut Light and Power Company dated June 11, 1993 and recorded in Volume 788 at Page 127 of the Enfield Land Records.

- 23. Terms and provisions of a Lease wherein Maine State Retirement System is the Landlord and Staples, Inc. is the Tenant, a Memorandum of which is dated June 18, 1993 and recorded in Volume 793 at Page 347 of the Enfield Land Records.
- 24. Terms and provisions of a Lease wherein Maine State Retirement System is the Landlord and Pier I Imports (U.S.), Inc. is the Tenant, a Memorandum of which is dated August 1, 1994 and recorded in Volume 889 at Page 157 of the Enfield Land Records.
- 25. Terms and provisions of a Lease wherein Gateway Connecticut Properties, Inc. is the Landlord and The Big Party Corporation is the Tenant, a Notice of which was recorded on August 15, 1996 and recorded in Volume 1001 at Page 102 of the Enfield Land Records.
- 26. Easement in favor of the Town of Enfield dated March 13, 1991 and recorded in Volume 683 at Page 167 of the Enfield Land Records; as affected by a Consent of Lender by Allstate Life Insurance Company dated April 3, 1991 and recorded in Volume 683 at Page 166 of the said Land Records.
- 27. (a) All other matters of record affecting the Property insofar as the same are now in force and applicable; and (b) all matters which would be disclosed by an accurate survey and/or any interest in real property which would be disclosed by inspection of the Property.

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RECORDED IN
 ENFIELD LAND RECORDS
 2006 JAN 17 PM 1: K5

 SUZANNE F. OLECHNICKI
 TOWN CLERK

DOC # 0606499

555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142

To:

Savannah-Nicole Villalba

Assistant Town Planner

Town of Enfield

820 Enfield Street

Enfield, CT 06082

Date:

07/20/2020

Project No.

140161110

Re:

IWWA Application Form

Phone No:

(860)253-6355

50 Hazard Avenue

Enfield, CT 06082

Via:

- Fed Ex: Priority Standard 2-Day
 1st Class Mail Hand Delivery

Items:

- Prints Letter Other
 Sepia Drawings Reports
 Other _____

Copies:

Dwg. No.:

Description:

1

IWWA Application & Checklist

RECEIVED
ENFIELD PLANNING DEPT
2020 JUL 21 PM 4:45

- For Your Information For Your Use As Requested By: _____
 For Review and Comment For Approval Other: _____

Remarks:

Savannah-Nicole,

Please see the updated IWWA application and checklist for the project at 10 Hazard Avenue for your use. Should you have any questions or need any additional information please don't hesitate to contact me at (413)265-9182 or dtgagnon@langan.com.

Copies To:

Michael Lai – Regency Centers

From:

David Gagnon